

**AMB's Questions and Comments on Revised Catch Application  
for Special Exception Case 2025-5  
June 20, 2025**

**Special Exception (Town of Warner Zoning Ordinance Article XVII E.)**

1. A Special Exception is required for the **revised** CATCH proposal to construct a 34 unit multi-family workforce housing development in the C-1 district and the Intervale district.
2. Map 35, Lot 4-3 has a buildable area of approximately 2.6 acres.
3. Most of this 13+ acre parcel is covered by the Town of Warner conservation easement.
4. As of 6/20/2025, the information posted on the Warner Notices Digest website for the Special Exception Case 2025-5 **did not include:**
  - a. A **written response** from the Kearsarge Regional School District.
  - b. A **written response** from the Town of Hopkinton.
5. Has the Town of Warner Fire Chief received detailed information, (**revised** site plans, drawings, renderings, etc.) regarding the **revised** CATCH proposal to construct a 34 unit multi-family workforce housing development in the C-1 district and the Intervale district?
6. Has the Town of Warner Fire Chief provided comments on the **revised** CATCH proposal to construct a 34 unit multi-family workforce housing development in the C-1 district and the Intervale district (e.g., the potential impact of the 34 unit multi-family workforce housing development proposal on public safety)?
7. The **revised** application **still fails** to address the priority for fire equipment access to all sides of the building. As proposed fire equipment would have to stop on Route 103 in order to fight a fire at the proposed building which would shut down Route 103 without an alternative bypass route.
8. Has the Town of Warner Police Chief received detailed information, (**revised** site plans, drawings, renderings, etc.) regarding the **revised** CATCH proposal to construct a 34 unit multi-family workforce housing development in the C-1 district and the Intervale district?
9. Has the Town of Warner Police Chief provided comments on the **revised** CATCH proposal to construct a 34 unit multi-family workforce housing development in the C-1 district and the Intervale district (e.g., the potential impact of the 34 unit multi-family workforce housing development proposal on public safety)?
10. Has the applicant provided a site-specific, detailed analysis of the traffic impact of the proposed 34 unit multi-family workforce housing development?

11. The **revised** application **still** fails to address my concerns regarding the impact of increased traffic on public safety near the Barbara Annis roundabout and the Intervale. (See my previously submitted email of April 8, 2025 regarding my concerns about Special Exception Case 2025-1 and Variance Case 2025-2).

12. The **revised** application **still** fails to address my concerns regarding the potential impact of the proposed project on the Warner River and the adjacent wetlands including but not limited to:

- a. The potential adverse environmental impact on the Warner River and adjacent wetlands from runoff or drains from the stormwater pond shown on the **revised** plans labeled Layout and Materials Plan CS 1001 and Grading and Drainage Plan CS 1501 that were filed with the **revised** CATCH application for a Special Exception (Case 2025-5).
- b. In addition to the potential adverse environmental impact on the Warner River and adjacent wetlands stated above, a stormwater pond located immediately adjacent to a residential apartment building also raises several public health concerns including: infections from mosquito-borne diseases and illegal disposal of trash or other hazardous materials.
- c. Previous plans filed by the current property owner, Comet LLC with the Warner Zoning Board of Adjustment for a Special Exception (Case 2022-03) for Map 35, Lot 4-3 did not include a stormwater pond.
- d. Previous plans filed by the current property owner, Comet LLC with the Warner Planning Board for Map 35, Lot 4-3 did not include a stormwater pond. See attachments labeled Comet LLC 2022-08-08\_PLAN SET-1 and 2022-08-29\_PRESENTATION PLAN Sheet 5 of 20.
- e. CATCH will also need to submit a new application to the NHDES AoT Bureau for a new or amended AoT permit with plans showing the proposed stormwater pond on Map 35, Lot 4-3

13. The **revised** application **still** fails to address the public safety issue regarding a school bus stop or the potential need for school buses to stop on Route 103. The revised application does not show enough room **on the site** for a school bus stop or enough room **on the site** for a school bus to safely turn around.

14. According to Town of Warner Zoning Ordinances, Article XVII Board of Adjustment, E. 2. Granting of Special Exceptions.

In granting a Special Exception, the Board of Adjustment may attach appropriate conditions to assure that the general criteria can be met and enforced, including but not limited to:

- a. Increasing setback and yard dimensions, which are greater than the minimum requirements.
- b. Modifications of the external features of the building or structures, and limiting the lot coverage or building height and dimensions.
- c. Requiring suitable landscaping, screening and maintenance or restoration of natural buffer areas where necessary to reduce noise and glare.

- d. The removal or modification of non-conforming uses, signs, buildings or structures.
  - e. Professional or technical studies or the funding thereof, for the purpose of monitoring compliance of specific elements regarding the site, and to verify the impact of the use on municipal services, traffic, and public safety, noise, air quality, and ground and surface water quality.
  - f. Limiting the number of occupants and methods and time of operation of the proposed use.
  - g. Specifying the numbers and locations of driveways, and accesses for the requested use and property.
  - h. Reducing the number, size and illumination of signs.
15. The applicants' **revised** application to construct a 34 unit workforce building **still creates numerous adverse impacts** on public safety, traffic, air quality, and groundwater and surface water quality. The applicant is still attempting to construct a larger building than the site can support. The proposed 34 unit building will cost more than a 24-unit building due to increased site excavation, site preparation, building materials and construction costs. **The applicant is still attempting to construct a larger building than the site can reasonably support.**
16. Should the Zoning Board of Adjustment choose to approve a Special Exception for the CATCH application (Case 2025-5), I respectfully request that the following conditions be included in said approval:
- a. The total number of multi-family workforce housing units shall be limited to no more than 24 units; and
  - b. Professional or technical studies or the funding thereof, for the purpose of monitoring compliance of specific elements regarding the site, and to verify the impact of the use on municipal services, traffic, and public safety, noise, air quality, and ground and surface water quality be submitted to the Zoning Board of Adjustment.
17. By limiting the total number of multi-family workforce housing units to no more than 24 units, most if not all of the negative impacts of the larger 34 unit multi-family workforce housing development proposal will be limited, if not eliminated.
18. The viability of a 24 unit multi-family workforce housing project is clearly demonstrated by the previous plans filed by the current property owner. See attachments labeled Comet LLC 2022-08-08\_PLAN SET-1 and 2022-08-29\_PRESENTATION PLAN Sheet 5 of 20.
19. In addition:
- a. the integrity and character of the district and adjoining districts including the health, morals and welfare will be better protected;
  - b. the impact of increased traffic on public safety near the Barbara Annis roundabout and the Intervale will be reduced.
  - c. the impact on noise, air quality, and ground and surface water quality in the Intervale and adjoining districts will be reduced.

## **Workforce Housing (Town of Warner Zoning Ordinance Article XIV-A)**

### **G. Relationship to Other Ordinances and Regulations**

1. No portion of this Article shall nullify the provisions of any other Town ordinance provisions which relate to environmental protection, water supply, sanitary disposal, traffic safety, and fire and life protection.
2. If any provision of this Article is in conflict with the provisions of other Ordinances, the more restrictive provision shall apply, except for any provision relating to lot size, frontage, setbacks or density, in which case the provisions of this Article shall apply.

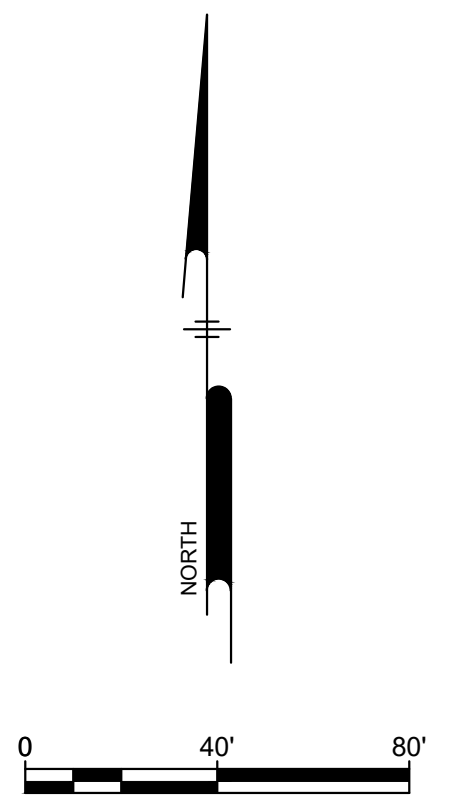
See also Warner - Workforce Housing Overlay Map, Date: 3/9/10 for additional information on Zones and acreage of each Zone where Workforce Housing is already permitted either by right or by Special Exception. This map indicates that Workforce Housing is permitted, either by right or by Special Exception on 51.1% of the total acreage in the the Town of Warner, NH.



PER SECTION XIX.B TABLE OF OFF-STREET PARKING REQUIREMENT OF THE SITE PLAN REVIEW REGULATIONS OF THE TOWN OF WARNER:

<u>PARKING REQUIRED (MULTI UNIT HOUSING):</u>	<u>LOT 3</u>
2.5 SPACES PER UNIT = 60 SPACES REQUIRED FOR 24 UNITS	
TOTAL REQUIRED = 60 SPACES	
TOTAL PROVIDED = 60 SPACES	

ZONING REQUIREMENTS: C1-COMMERCIAL DISTRICT INTERVALE OVERLAY DISTRICT		
	REQUIRED	PROVIDED LOT 3
MIN. LOT AREA	40,000 SF	113,256 SF
MIN. LOT FRONT.	200'	400'
FRONT SETBACK	40'	40'
SIDE SETBACK	25'	25'
MAX IMPERVIOUS AREA	70%	36%



DATE	NO.	REVISIONS	BY

SITE PLAN  
LOT 3 - ROUTE 103 WEST, WARNER NH,  
ASSESSOR'S MAP 35 LOTS 4-3

OWNER           COMET, LLC  
84 RANGE ROAD, WINDHAM, NH 03087

## PRESENTATION PLAN



**Ranger Engineering Group, Inc.**  
13 Red Roof Lane, Suite 203  
Salem NH, 03079  
Tel: 978-208-1762  
rangereng.com

WARNER PLANNING BOARD CHAIRMAN:

DATE: \_\_\_\_\_

DATE: 2022-08-08

SCALE:  
1" = 40'

SHEET 5 OF 20

\\KPROJECTS\COMET - QUINN\22-271 LOT 3 WARNER\WIDESIGN\PUBLISH\OTHER PUBLISH SHEETS\CS101\_Presentation Plan\_2.mpg



# SITE PLAN

## 9 ROUTE 103 WEST

ASSESSOR'S MAP 35 LOT 4-3

WARNER, NH 03278

DATE: AUGUST 8, 2022

### INDEX OF DRAWINGS

SHEET NO.	DWG NO.	DRAWING TITLE
1.	CS0001	COVER SHEET
2.	CS0002	NOTES AND LEGEND
3.	CS0201	EXISTING CONDITIONS PLAN
4.	CS0202	EXISTING CONDITIONS PLAN - SITE VIEW
5.	CS1001	LAYOUT AND MATERIALS PLAN
6.	CS1501	GRADING AND DRAINAGE PLAN
7.	CS1701	UTILITY PLAN
8.	CS2701	VEHICLE TURNING PLAN - LADDER TRUCK
9.	CS6001	SITE DETAILS
10.	CS6002	SITE DETAILS
11.	CS6021	DRAINAGE DETAILS
12.	CS6022	STORMWATER STORAGE SYSTEM DETAILS
13.	CS6051	UTILITY DETAILS
14.	CS7001	LANDSCAPE & LIGHTING PLAN
15.	CS7002	LANDSCAPE & LIGHTING DETAILS
16.	CS8001	EROSION AND SEDIMENT CONTROL PLAN - PHASE 1
17.	CS8002	EROSION AND SEDIMENT CONTROL PLAN - PHASE 2
18.	CS8501	EROSION AND SEDIMENT CONTROL DETAILS
19.	CS8502	EROSION AND SEDIMENT CONTROL DETAILS
20.	CS9001	INSPECTION AND MAINTENANCE PLAN

PREPARED FOR:

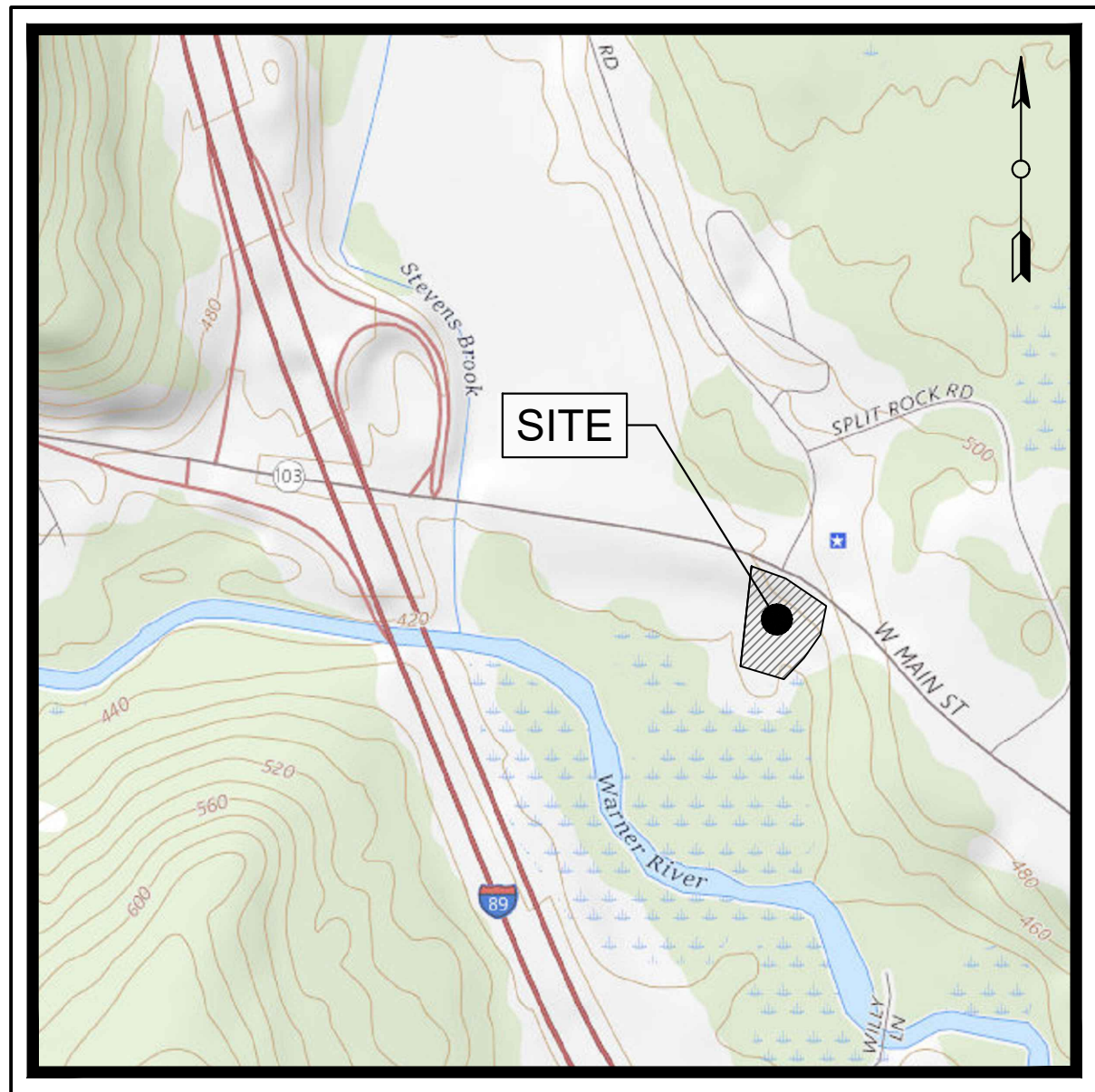
## COMET , LLC

84 RANGE ROAD  
WINDHAM, NH 03087



LOCUS MAP

1"= 350'



USGS MAP

N.T.S.

#### NOTE:

1. APPROVAL OF THIS PLAN REQUIRES A SPECIAL EXCEPTION BE GRANTED BY THE ZONING BOARD.

#### NEW HAMPSHIRE FISH AND GAME AOT PERMIT CONDITIONS RELATED TO THREATENED AND ENDANGERED SPECIES:

1. THERE IS A POTENTIAL FOR WOOD TURTLES (STATE SPECIES OF SPECIAL CONCERN) TO BE WITHIN THE PROJECT VICINITY. OBSERVATIONS OF THESE SPECIES SHALL BE REPORTED IMMEDIATELY, PARTICULARLY DURING NESTING SEASON (MID-MAY THROUGH THE END OF JUNE) TO NHFG TO MELISSA DOPERALSKI (CELL/TEXT) 603-479-1129 OR JOSH MEGYESY AT 978-578-0802. SITE OPERATORS SHALL BE PROVIDED THE IDENTIFICATION FLYER AND NHFG CONTACT INFORMATION. SEE PLAN SHEET 6 (CS1001) FOR SPECIES IDENTIFICATION INFORMATION.
2. TO AVOID IMPACTS TO RARE TURTLES, SOIL DISTURBANCE SHALL BEGIN AFTER OCTOBER 1 OR PRIOR TO MAY 15 TO AVOID DISTURBING POTENTIAL NESTING TURTLES, HATCHLINGS, OR ADULT FEMALES.
3. A SILT FENCE SHALL BE INSTALLED AROUND THE PROJECT AREA FOOTPRINT PRIOR TO MAY 15 TO EXCLUDE FEMALE WOOD TURTLES WHO MAY BE ATTRACTED TO OPEN DISTURBED SOILS THAT WOULD RESULT FROM PROJECT ACTIVITIES. ALL TURTLE SPECIES NESTS ARE PROTECTED BY NEW HAMPSHIRE LAW. SEE PLAN SHEET 15 (CS8001) FOR MORE DETAILS.
4. ALL OBSERVATIONS OF THREATENED OR ENDANGERED SPECIES SHALL BE REPORTED IMMEDIATELY TO THE NEW HAMPSHIRE FISH AND GAME DEPARTMENT NONGAME AND ENDANGERED WILDLIFE ENVIRONMENTAL REVIEW PROGRAM BY PHONE AT 603-271-2461 AND BY EMAIL AT NHFGREVIEW@WILDLIFE.NH.GOV EMAIL SUBJECT LINE: NH819-4037,ROUTE 103 WEST COMMERCIAL DEVELOPMENT,WILDLIFE SPECIES OBSERVATION. PHOTOGRAPHS SHALL BE PROVIDED FOR VERIFICATION AS FEASIBLE.
5. THE NEW HAMPSHIRE FISH AND GAME DEPARTMENT SHALL HAVE ACCESS TO THE PROPERTY DURING THE TERM OF THE PERMIT.
6. ALL MANUFACTURED EROSION AND SEDIMENT CONTROL PRODUCTS, UTILIZED FOR, BUT NOT LIMITED TO, SLOPE PROTECTION, RUNOFF DIVERSION, SLOPE INTERRUPTION, PERIMETER CONTROL, AND INLET PROTECTION, CHECK DAMS, SEDIMENT TRAPS, AND SILT FENCE INSTALLED IN ACCORDANCE WITH ENV-WQ 1506.04, SHALL NOT CONTAIN WELDED PLASTIC, PLASTIC, OR MULTI-FILAMENT OR MONOFILAMENT POLYPROPYLENE NETTING OR MESH. SEE PLAN SHEETS 15, 16, 17 (CS8001, CS8002, CS8501).

PREPARED BY:

## RANGER ENGINEERING GROUP, INC



Ranger Engineering Group, Inc.

13 Red Roof Lane, Suite 203

Salem NH, 03079

Tel: 978-208-1762

rangereng.com

WARNER PLANNING BOARD CHAIRMAN:

DATE:



DATE	NO.	REVISIONS	BY

SITE PLAN  
LOT 3 - ROUTE 103 WEST, WARNER NH,  
ASSESSOR'S MAP 35 LOTS 4-3

OWNER COMET, LLC  
84 RANGE ROAD, WINDHAM, NH 03087

COVER SHEET  
CS0001



Ranger Engineering Group, Inc.

13 Red Roof Lane, Suite 203

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Tel: 978-208-1762

rangereng.com

DATE:  
2022-08-08

SCALE:

SHEET 1 OF 20



2:\K\PROJECTS\COMET - QUINN\22-271 LOT 3 WARNER NH\DESIGN\PUBLISH\PLANSET\CS001-450002.dwg PLOTTED: 8/8/2022 11:51 AM BY: Csd PC PROJECT STATUS: PLOT STYLE: ---

LEGEND		
EXISTING		PROPOSED
	BUILDING	
	PROPERTY LINE	
	RIGHT-OF-WAY LINE	
	ADJACENT PROPERTY LINE	
	SETBACK LINE	
	EASEMENT LINE	
	WOOD FENCE	
	CONCRETE	
	RIP RAP	
	BIT. CONC. PAVEMENT	
	SIGN	
	BOLLARD	
	SPOT ELEVATION	
	CONTOUR	
	WATER LINE DOMESTIC	
	SANITARY SEWER	
	STORM SEWER	
	OVERHEAD ELECTRIC	
	UNDERGROUND GAS	
	UTILITY POLE	
	SANITARY MANHOLE	
	SANITARY SEWER CLEANOUT	
	STORM DRAIN MANHOLE	
	STORM DRAIN INLET	
	STORM DRAIN FLARED END SECTION	
	STORM DRAIN CLEANOUT	
	FIRE HYDRANT	
	WATER VALVE	
	TREE LINE	
	CONIFEROUS TREE	
	DECIDUOUS TREE	
	CONSTRUCTION ENTRANCE	
	SILT SACK	
	EROSION CONTROL	
	HANDICAP MARKING	
	DETECTABLE WARNING STRIP	
	STONE BOUND	

CONSTRUCTION NOTES:

1. CONSTRUCTION
- A. TOPSOIL:  
EXISTING TOPSOIL AND SUBSOIL SHALL BE REMOVED FROM ROADWAY AND BUILDING AREAS AND STOCKPILED.
- B. TREES AND STUMPS:  
TREES AND STUMPS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN AN APPROVED MANNER. STUMPS SHALL NOT BE BURIED ON SITE.
2. MATERIALS
- A. BITUMINOUS CONCRETE PAVEMENT:  
  
PARKING AREAS:  
SURFACE COURSE: 1-1/2 INCHES CLASS I BITUMINOUS CONCRETE PAVEMENT, TYPE I-1  
WEARING COURSE  
BINDER COURSE: 2-1/2 INCHES CLASS I BITUMINOUS CONCRETE PAVEMENT, TYPE I-1  
BINDER COURSE  
GRAVEL BASE COURSE: 4 INCHES COMPACTED DENSE GRADED CRUSHED STONE FOR SUB-BASE (NH 300.304)  
8 INCHES COMPACTED SUB-BASE
- B. LANDSCAPE AREAS:  
DISTURBED AREAS NOT COVERED BY STRUCTURES OR PAVEMENT AND NOT OTHERWISE SPECIFIED ON THE LANDSCAPE PLAN SHALL RECEIVE 6 INCHES OF TOPSOIL. THESE AREAS ARE TO BE SEEDED AND WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. LANDSCAPE AREAS ADJACENT TO THE BUILDING SHALL BE FINISHED WITH 3" OF 1-1/2" RIVER ROCK.
- C. TRAFFIC CONTROLS:  
ALL SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.)
- D. ADA CONFORMANCE:  
ALL HANDICAPPED ACCESSIBLE RAMPS AND SIDEWALKS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE STATE OF NEW HAMPSHIRE'S ADA REASONABLE ACCOMMODATION POLICY, WHICHEVER IS, WHICHEVER IS MORE RESTRICTIVE.
4. UTILITIES
- A. EXISTING UTILITIES:  
THE LOCATION AND ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON THE SURVEY NOTED ABOVE AND SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION AND PRIOR TO ORDERING STRUCTURES.
- B. PRIVATE UTILITIES:  
THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE OR ELECTRIC). FINAL DESIGN AND LOCATIONS AT THE BUILDING WILL BE PROVIDED BY THE ARCHITECT. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE UTILITY CONNECTIONS WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO ANY UTILITY CONSTRUCTION OR DEMOLITION.
- C. STORM DRAINAGE:  
STORM DRAIN PIPING SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) WITH CORRUGATED EXTERIOR, SMOOTH LINED (n=0.013) WITH SOIL TIGHT JOINTS UNLESS OTHERWISE NOTED ON THE GRADING & DRAINAGE PLAN.
- D. PROPOSED STRUCTURES:  
RIM ELEVATIONS OF PROPOSED DRAINAGE MANHOLES AND ASSOCIATED STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS. ARE TO BE SET FLUSH AND CONSISTENT WITH THE GRADING PLAN. ADJUST ALL OTHER RIM ELEVATIONS OF MANHOLES, WATER GATES, GAS GATES AND OTHER UTILITIES TO FINISH GRADE WITHIN LIMITS OF WORK.

AS-BUILT NOTES:

1. PROJECT REQUIRED TO BE CERTIFIED BY A QUALIFIED ENGINEER TO CONFIRM THE PROJECT WAS COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS OR THAT DEVIATIONS WERE MADE WHICH DID NOT REQUIRE AN AMENDED OR NEW PERMIT.

ABBREVIATIONS

BIT	BITUMINOUS	OCS	OUTLET CONTROL STRUCTURE
CB	CATCH BASIN	OE	OVERHEAD ELECTRIC
CONC	CONCRETE	PC	POINT OF CURVATURE
DH	DRILL HOLE	PCC	PRECAST CONCRETE CURB
DMH	DRAIN MANHOLE	PERF	PERFORATED
ELEV	ELEVATION	PRC	POINT OF REVERSE CURVE-CURVE
ESHGW	ESTIMATED SEASONAL HIGH GROUND WATER	PROP	PROPOSED
EXIST	EXISTING	PT	POINT OF TANGENT
FND	FOUNDATION	PVC	POLYVINYL CHLORIDE PIPE
FES	FLARED END SECTION	RCP	REINFORCED CONCRETE PIPE
GF	GARAGE FLOOR	SMH	SEWER MANHOLE
HDPE	HIGH DENSITY POLYETHYLENE PIPE	STR	STRUCTURE
HYD	HYDRANT	TYP	TYPICAL
INV	INVERT ELEVATION	VGC	VERTICAL GRANITE CURB
IP	IRON PIPE	CCB	CAPE COD BERM
IR	IRON ROD		
MAX	MAXIMUM		
MIN	MINIMUM		
NTS	NOT TO SCALE		

WARNER PLANNING BOARD CHAIRMAN:

DATE:



DATE	NO.	REVISIONS	BY

SITE PLAN  
LOT 3 - ROUTE 103 WEST, WARNER NH,  
ASSESSOR'S MAP 35 LOTS 4-3

OWNER COMET, LLC  
84 RANGE ROAD, WINDHAM, NH 03087

NOTES AND LEGEND  
CS0002



Ranger Engineering Group, Inc.  
13 Red Roof Lane, Suite 203  
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Tel: 978-208-1762  
rangereng.com



ZONING REQUIREMENTS: C1-COMMERCIAL DISTRICT INTERVALE OVERLAY DISTRICT		
	REQUIRED	PROVIDED LOT 3
MIN. LOT AREA	40,000 SF	113,256 SF
MIN. LOT FRONT.	200'	400'
FRONT SETBACK	40'	79.1'
SIDE SETBACK	25'	68.3'
BLD HEIGHT		44.5'
MAX IMPERVIOUS AREA	70%	36%

SEE SHEET 4 FOR LEGEND

#### FLOOD ZONE INFORMATION

SUBJECT PARCEL IS LOCATED IN ZONES AE & X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NUMBER 33013C287E WHICH BEARS AN EFFECTIVE DATE OF APRIL 19, 2010. FEMA FLOOD ELEVATION WAS DETERMINED BY FIELD SURVEY PERFORMED BY RANGER ENGINEERING GROUP. FLOODWAY LINE WAS TRACED FROM THE ABOVE REFERENCED FEMA MAP.

#### SURVEY NOTES

1. THE LOCUS IS SHOWN ON TOWN OF WARNER ASSESSOR'S MAP 35 LOTS 4-1, 4-2, AND 4-3. LOCATED IN ZONING DISTRICT C1 COMMERCIAL AND THE INTERVALE OVERLAY DISTRICT, AND IS KNOWN AS 9 ROUTE 103 WEST.
2. DEED REFERENCE: BOOK 3579 PAGE 98, MERRIMACK COUNTY REGISTRY OF DEEDS.
3. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE.
4. THE BASIS OF BEARING FOR THIS PLAN IS THE NORTH AMERICAN DATUM OF 1983 AS SHOWN ON PLAN #16243, MERRIMACK COUNTY REGISTRY OF DEEDS.
5. WETLANDS DELINEATED BY J. P. HAYES III CWS #18 IN ACCORDANCE WITH NEW HAMPSHIRE WETLANDS BUREAU REQUIREMENTS AND THE US ARMY CORPS OF ENGINEERS 1987 WETLAND DELINEATION MANUAL.
6. NHDOT DRIVEWAY ACCESS PERMIT # 05-463-0034, DATED 9/9/2021.

#### REFERENCE DEEDS:

1. BOOK 3579 PAGE 98 MERRIMACK COUNTY REGISTRY OF DEEDS

#### REFERENCE PLANS:

1. PLAN 16243
2. PLAN 11670
3. PLAN 7757
4. PLAN 307
5. STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS PLANS OF PROPOSED FEDERAL AID PROJECT I-89-I(57)119 N.H. PROJECT NO. P-7407-C INTERSTATE ROUTE I-89 SHEETS 76, 77, 80, & 81 ON FILE AT THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION

#### EASEMENTS AND ENCUMBRANCES:

EXISTING CONSERVATION EASEMENT  
BOOK 2547 PAGE 1295  
PLAN 16243

EXISTING DRIVEWAY EASEMENT  
BOOK 1842 PAGE 1520  
PLAN 16243

EXISTING INGRESS/EGRESS EASEMENT  
BOOK 1842 PAGE 1520  
PLAN 16243



DATE	NO.	REVISIONS	BY	

#### SITE PLAN LOT 3 - ROUTE 103 WEST, WARNER NH,

ASSESSOR'S MAP 35 LOTS 4-3

OWNER COMET, LLC  
84 RANGE ROAD, WINDHAM, NH 03087

#### EXISTING CONDITIONS PLAN CS0201

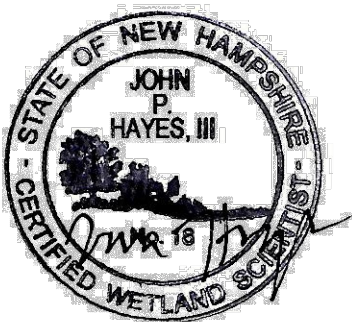
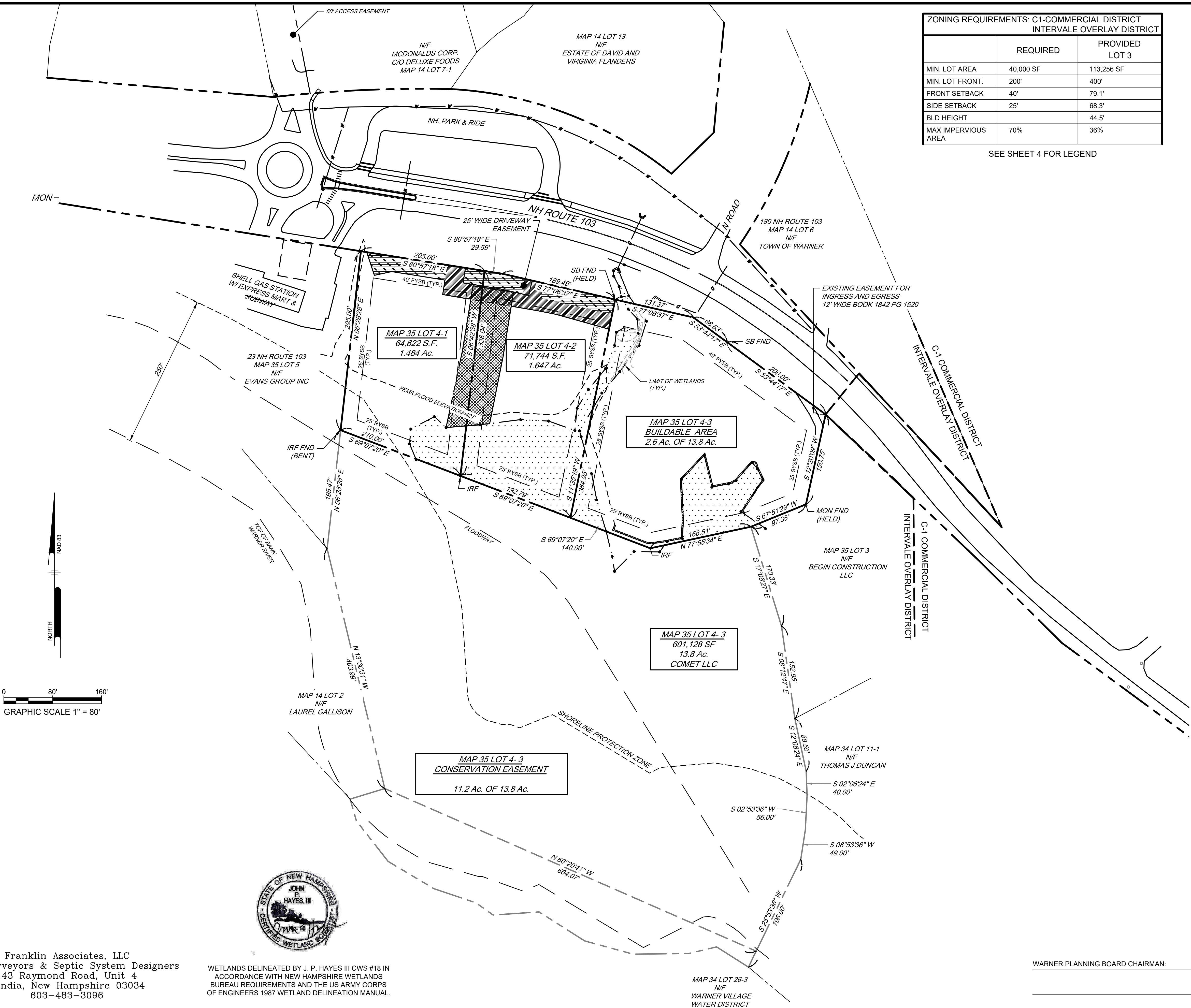


Ranger Engineering Group, Inc.  
13 Red Roof Lane, Suite 203  
Salem NH, 03079  
Tel: 978-208-1762  
rangereng.com

DATE: 2022-08-08 SCALE: 1" = 80' SHEET 3 OF 20

WARNER PLANNING BOARD CHAIRMAN:

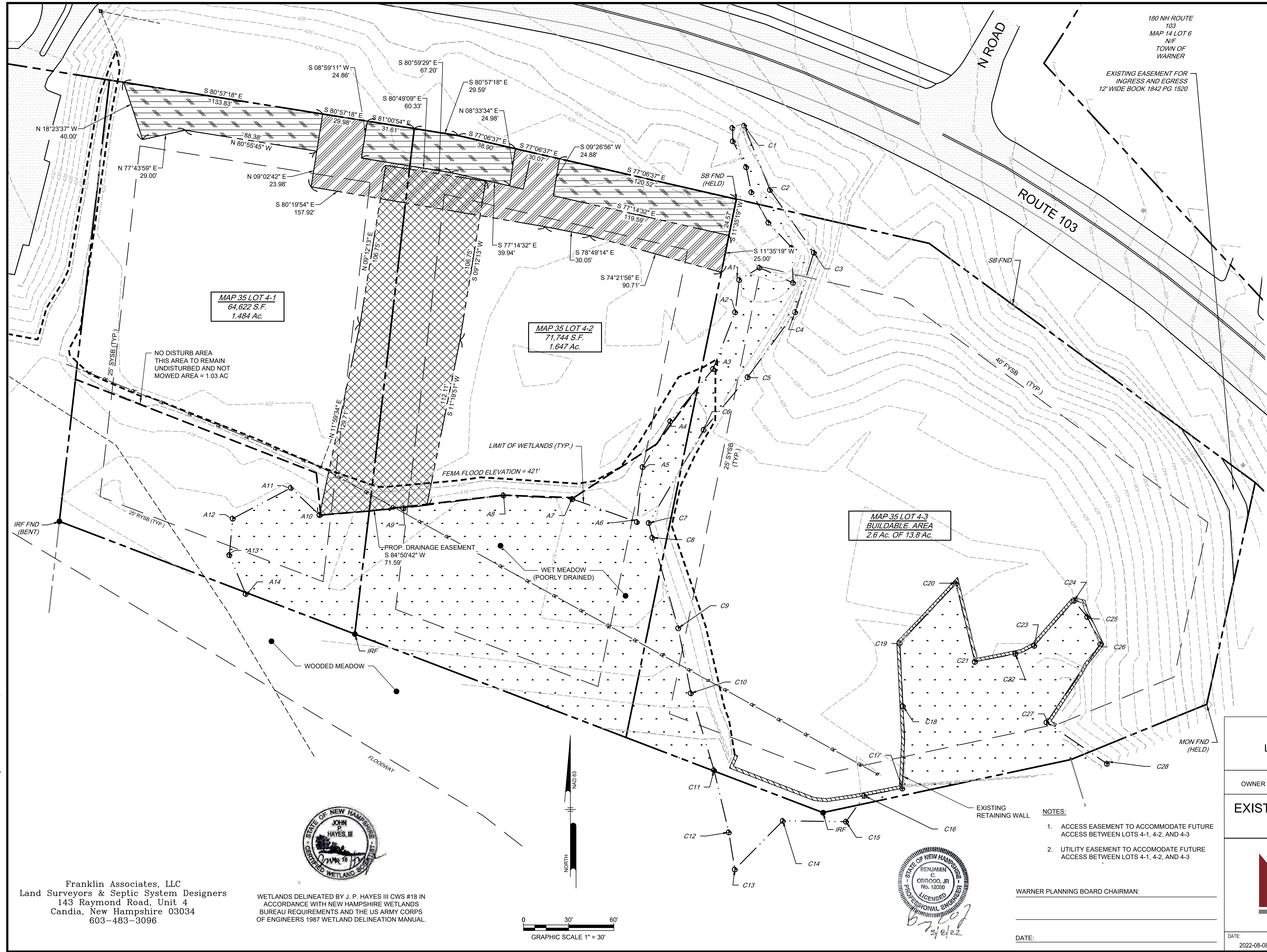
DATE:



Franklin Associates, LLC  
Land Surveyors & Septic System Designers  
143 Raymond Road, Unit 4  
Candia, New Hampshire 03034  
603-483-3096

WETLANDS DELINEATED BY J. P. HAYES III CWS #18 IN ACCORDANCE WITH NEW HAMPSHIRE WETLANDS BUREAU REQUIREMENTS AND THE US ARMY CORPS OF ENGINEERS 1987 WETLAND DELINEATION MANUAL.





LEGEND: EXISTING

	WETLANDS
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	ADJACENT PROPERTY LINE
	SETBACK LINE
	EASEMENT LINE
	WETLANDS LINE
	WOOD FENCE
	WATER LINE DOMESTIC
	STORM SEWER
	OVERHEAD ELECTRIC
	UNDERGROUND GAS
	UTILITY POLE
	SANITARY MANHOLE
	STORM DRAIN MANHOLE
	STORM DRAIN INLET
	FIRE HYDRANT
	WATER VALVE
	TREE LINE
	RETAINING WALL
	CONCRETE HEADWALL
	STONE BOUND
	IRON ROD
	TEST PIT
	TRAVERSE POINT

PROPOSED EASEMENTS

	ACCESS & UTILITY EASEMENT 9275 SF
	UTILITY EASEMENT 8857 SF
	DRAINAGE EASEMENT 16471 SF

DATE	NO.	REVISIONS	BY

SITE PLAN

LOT 3 - ROUTE 103 WEST, WARNER NH,

ASSESSOR'S MAP 35 LOTS 4-3

OWNER

COMET, LLC  
84 RANGE ROAD, WINDHAM, NH 03087

EXISTING CONDITIONS PLAN - SITE VIEW

CS0202

Ranger Engineering Group, Inc.

13 Red Roof Lane, Suite 203  
Salem NH, 03079  
Tel: 978-208-1762  
rangereng.com

DATE: 2022-08-08

SCALE: 1" = 30'

SHEET 4 OF 20

PROJECT STATUS: —  
PLOT STYLE: TITERNCS.dwg  
PLOTTED: 8/8/2022 11:31 AM BY: Cdf/PC  
2:\K\PROJECTS\COMET - QUINN\22-071 LOT 3 WARNER NH\DESIGN\PLANS\SET\CS0202.dwg

Franklin Associates, LLC  
Land Surveyors & Septic System Designers  
143 Raymond Road, Unit 4  
Candia, New Hampshire 03034  
603-483-3096

WETLANDS DELINEATED BY J. P. HAYES III CWS #18 IN  
ACCORDANCE WITH NEW HAMPSHIRE WETLANDS  
BUREAU REQUIREMENTS AND THE US ARMY CORPS  
OF ENGINEERS 1987 WETLAND DELINEATION MANUAL.

NOTES:

- ACCESS EASEMENT TO ACCOMMODATE FUTURE ACCESS BETWEEN LOTS 4-1, 4-2, AND 4-3
- UTILITY EASEMENT TO ACCOMMODATE FUTURE ACCESS BETWEEN LOTS 4-1, 4-2, AND 4-3

WARNER PLANNING BOARD CHAIRMAN: \_\_\_\_\_

DATE: \_\_\_\_\_



2:\PROJECTS\COMET - QUINN\271 LOT 3 WARNER INTERSECTION\BUBS\ANSET\CS1001.dwg PLOTTED: 08/02/2022 12:29 PM BY: Cdp PC PROJECT STATUS: —



**Spotted turtle** (state threatened)

- Small, mostly aquatic with black or dark brown with yellow spots.
- Fairly flat shell compared to Blanding's turtle



**Blanding's turtle** (state endangered)

- Large, dark/black domed shell with lighter speckles
- Distinct yellow throat/chin
- Aquatic but often moves on land



**Wood turtle** (special concern)

- Sculpted, pyramidal brownish shell
- Orange around neck and limbs
- River/stream turtle spending many months on land

IF SPOTTED OR BLANDING'S OR WOOD TURTLES ARE SPOTTED, ESPECIALLY DURING NESTING SEASON, PLEASE CONTACT MELISSA DOPERALSKI (603-479-1129 cell) or JOSH MEGYESY (cell 978-578-0802 or 271-1125 office) FOR FURTHER INSTRUCTIONS



WARNER PLANNING BOARD CHAIRMAN:

DATE:

**PARKING CALCULATION:**

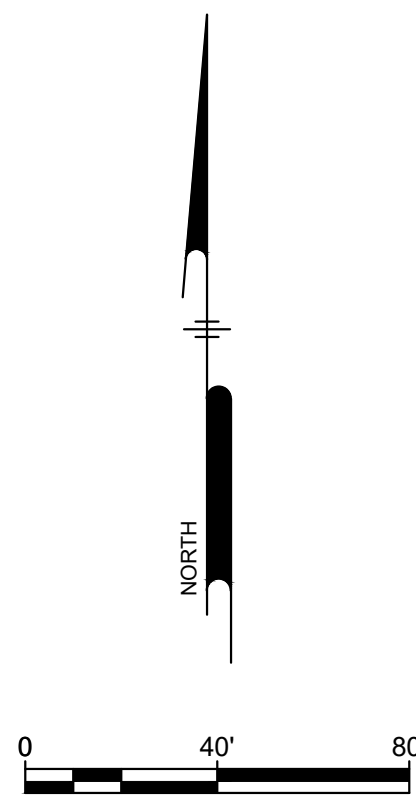
PER SECTION XIX.B TABLE OF OFF-STREET PARKING REQUIREMENT OF THE SITE PLAN REVIEW REGULATIONS OF THE TOWN OF WARNER:

PARKING REQUIRED (MULTI-UNIT HOUSING):  
2.5 SPACES PER UNIT = 60 SPACES REQUIRED FOR 24 UNITS

TOTAL REQUIRED = 60 SPACES  
TOTAL PROVIDED = 60 SPACES

**ZONING REQUIREMENTS: C1-COMMERCIAL DISTRICT  
INTERVALE OVERLAY DISTRICT**

	REQUIRED	PROVIDED LOT 3
MIN. LOT AREA	40,000 SF	113,256 SF
MIN. LOT FRONT.	200'	400'
FRONT SETBACK	40'	40'
SIDE SETBACK	25'	25'
MAX IMPERVIOUS AREA	70%	36%



DATE	NO.	REVISIONS	BY

**SITE PLAN**  
LOT 3 - ROUTE 103 WEST, WARNER NH,  
ASSESSOR'S MAP 35 LOTS 4-3

OWNER COMET, LLC  
84 RANGE ROAD, WINDHAM, NH 03079

**LAYOUT AND MATERIALS PLAN**  
CS1001



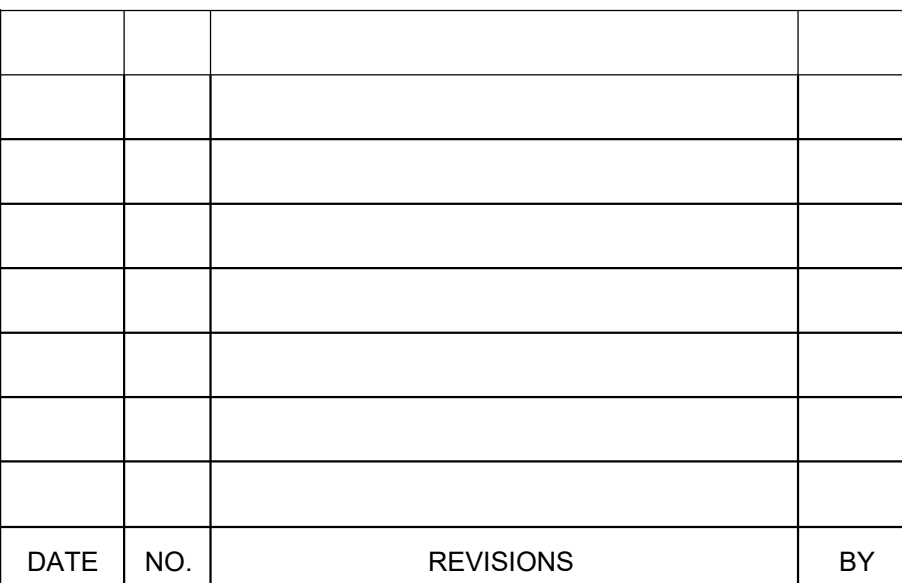
**Ranger Engineering Group, Inc.**  
13 Red Roof Lane, Suite 203  
Salem NH, 03079  
Tel: 978-208-1762  
rangereng.com

DATE: 2022-08-08

SCALE: 1" = 40'

SHEET 5 OF 20





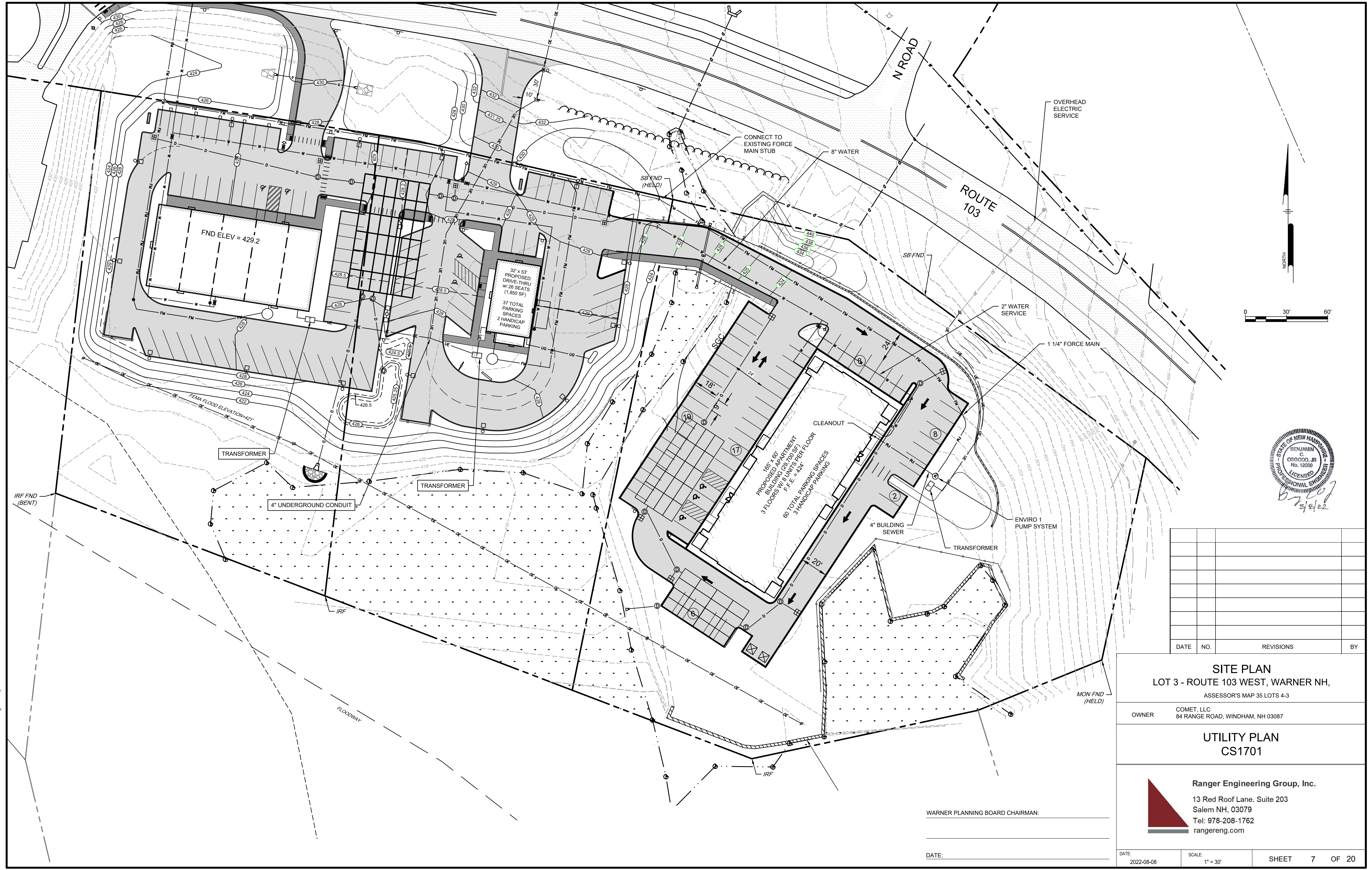
SHEET 6 OF 20

NOTES:

1. INSPECTION AND MAINTENANCE RECORDS MUST BE PROVIDED TO DEPARTMENT OF ENVIRONMENTAL SERVICES UPON REQUEST

DATE \_\_\_\_\_



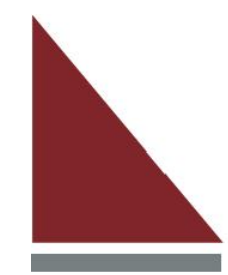


DATE	NO.	REVISIONS						BY	

**SITE PLAN**  
**LOT 3 - ROUTE 103 WEST, WARNER NH,**  
ASSESSOR'S MAP 35 LOTS 4-3

OWNER COMET, LLC  
84 RANGE ROAD, WINDHAM, NH 03087

**UTILITY PLAN**  
**CS1701**

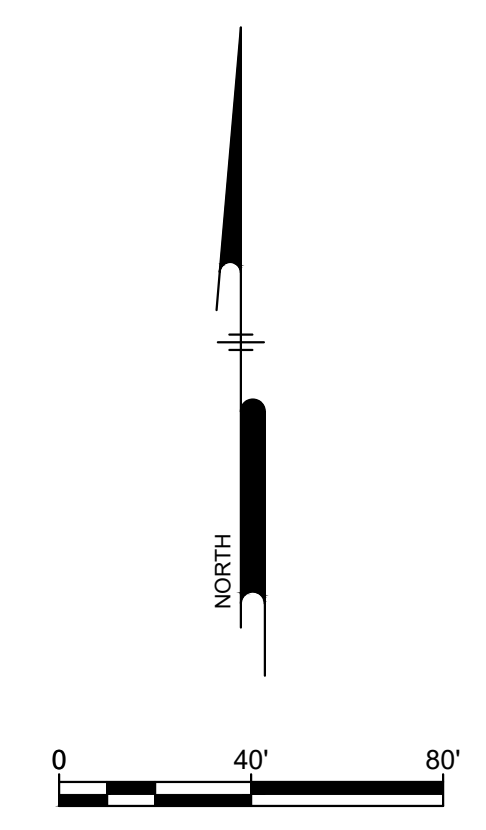


**Ranger Engineering Group, Inc.**  
13 Red Roof Lane, Suite 203  
Salem NH, 03079  
Tel: 978-208-1762  
rangereng.com

WARNER PLANNING BOARD CHAIRMAN:

DATE:





DATE	NO.	REVISIONS	BY

## VEHICLE TURNING PLAN - LADDER TRUCK CS2701



**Ranger Engineering Group, Inc.**  
 13 Red Roof Lane, Suite 203  
 Salem NH, 03079  
 Tel: 978-208-1762  
[rangereng.com](http://rangereng.com)

WARNER PLANNING BOARD CHAIRMAN:

DATE: \_\_\_\_\_

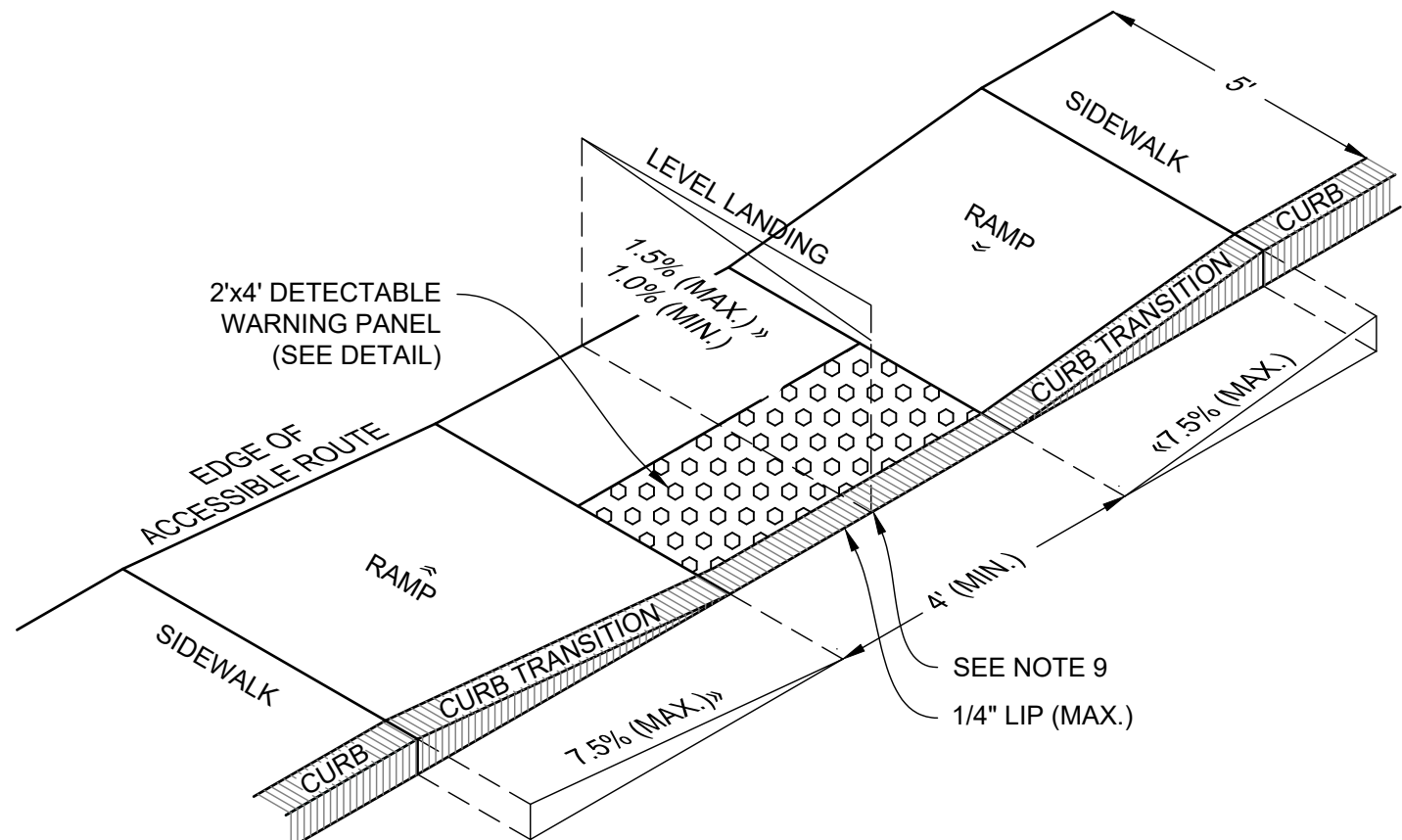
DATE: 2022-08-08

SCALE:  
1" = 40'

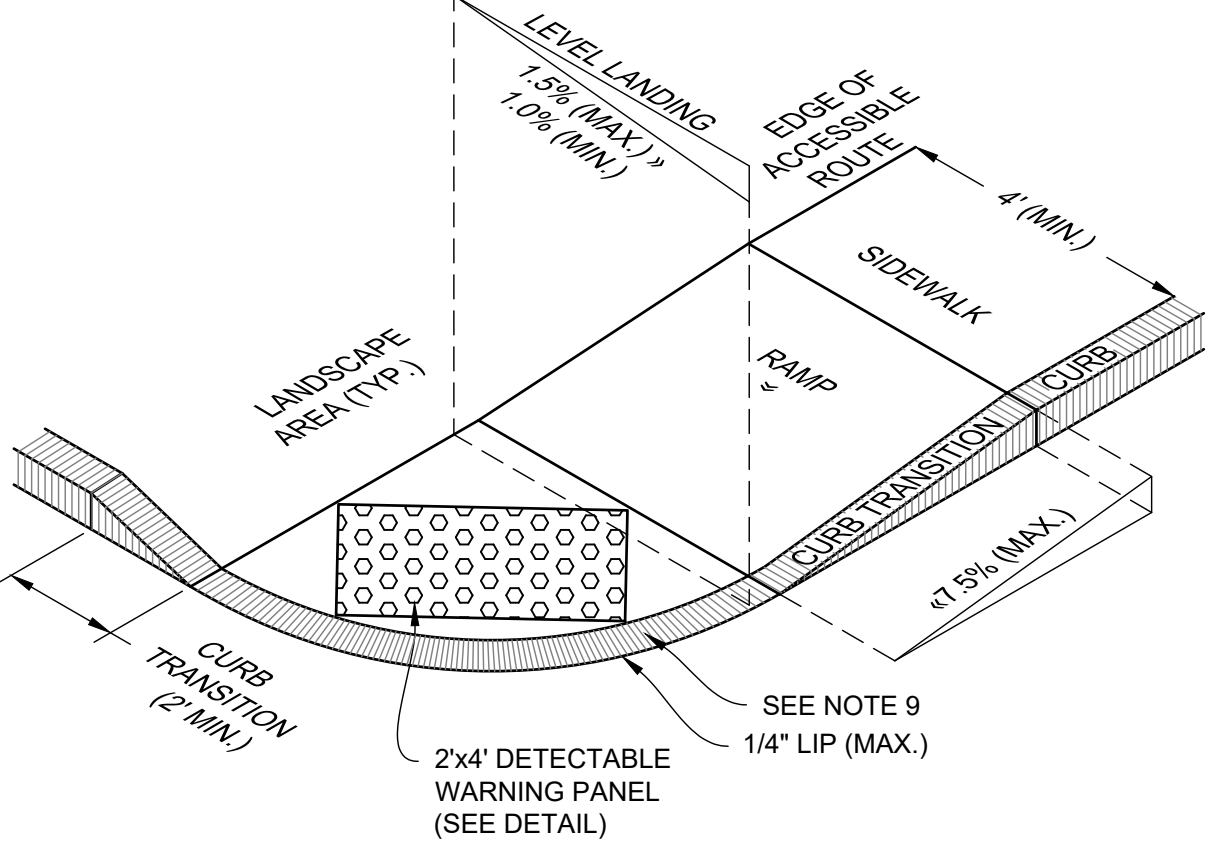
SHEET 8 OF 20

\\KPROJECTS\COMET - QUINN\22-271 LOT 3 WARNER\H\DESIGN\PUBLISH\PLANSET\2701.dwg PLOTTED: 8/8/2023 11:53 AM BY: Cad PC PLOTSTYLE: T1E7r1NC5.ctb PROJECT STATUS: ---





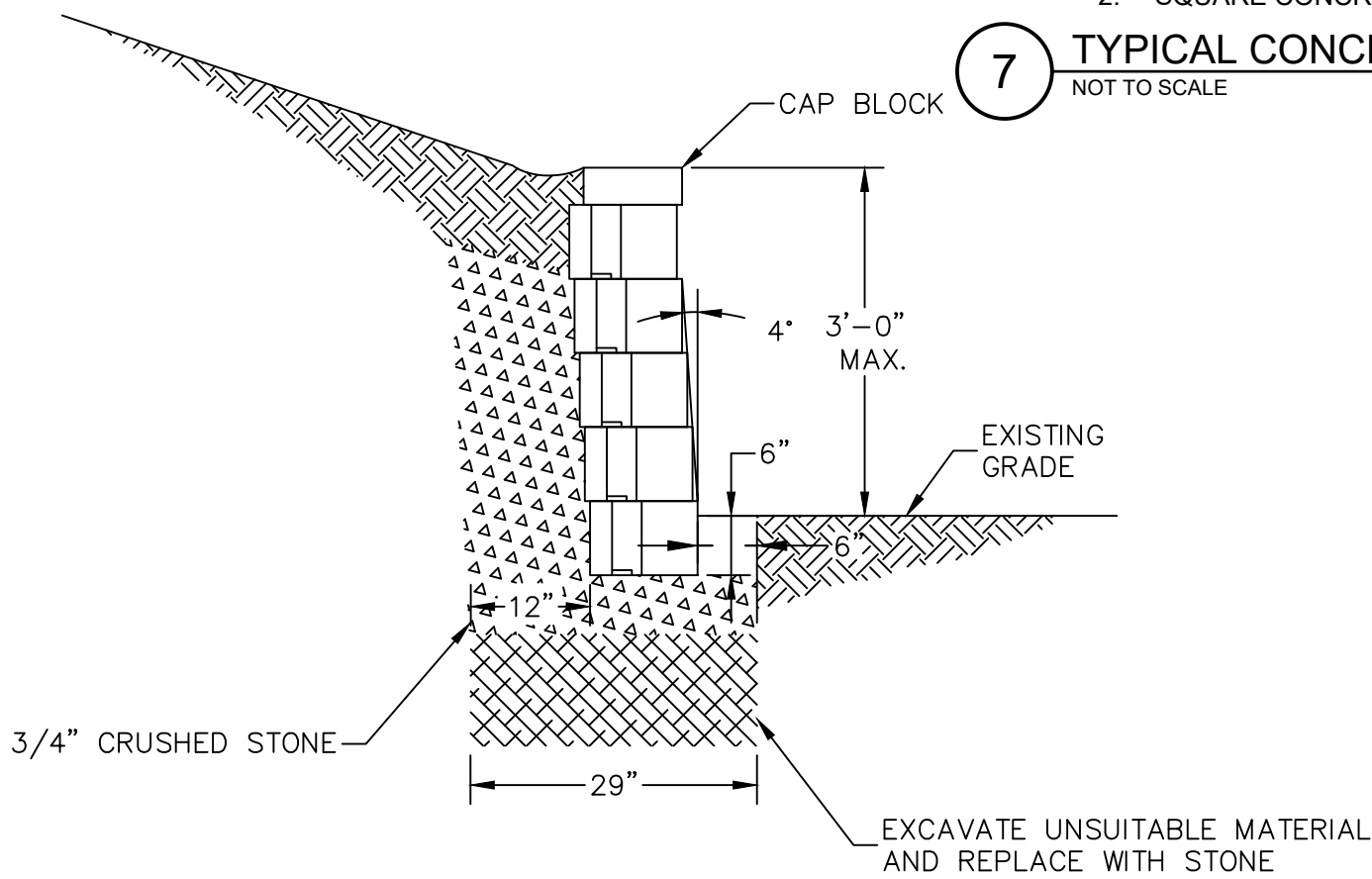
1 ACCESSIBLE CURB RAMP (ACR) - TYPE 'A' W/ DETECTABLE WARNING PANEL  
NOT TO SCALE



2 ACCESSIBLE CURB RAMP (ACR) W/ DETECTABLE WARNING PANEL  
NOT TO SCALE

ACCESSIBLE CURB RAMP NOTES:

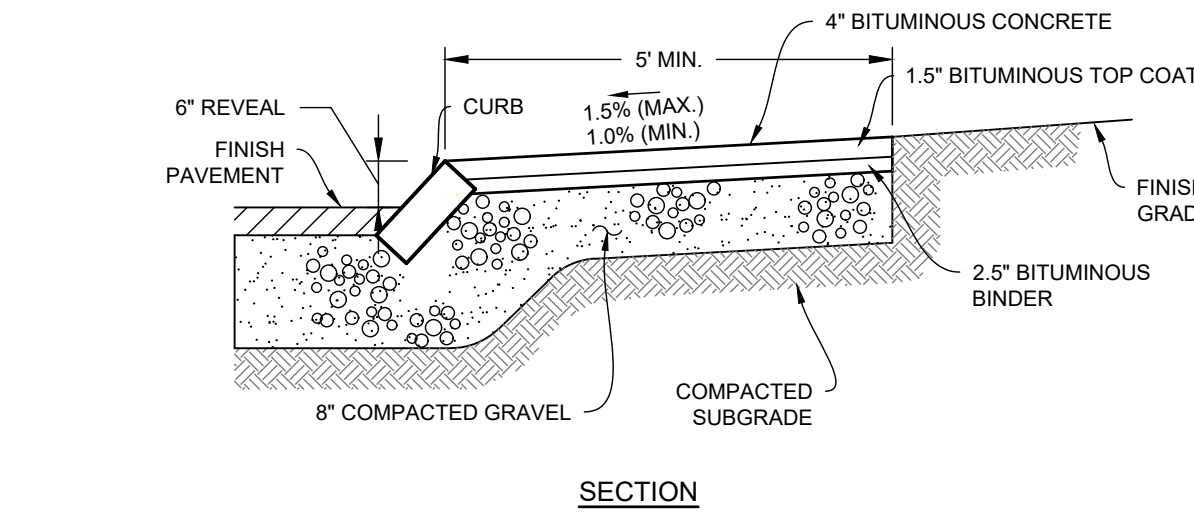
1. THE MAXIMUM ALLOWABLE SIDEWALK AND RAMP CROSS SLOPES SHALL BE 1.5% (1% MIN).
2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMPS SHALL BE 7.5%.
4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.)
5. CURB TREATMENT VARIES, SEE PLAN FOR CURB TYPE.
6. RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5'x5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
9. ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY, EXCEPT WHERE VERTICAL CURBING IS INDICATED ON THE DRAWINGS TO BE INSTALLED AND SET FLUSH.



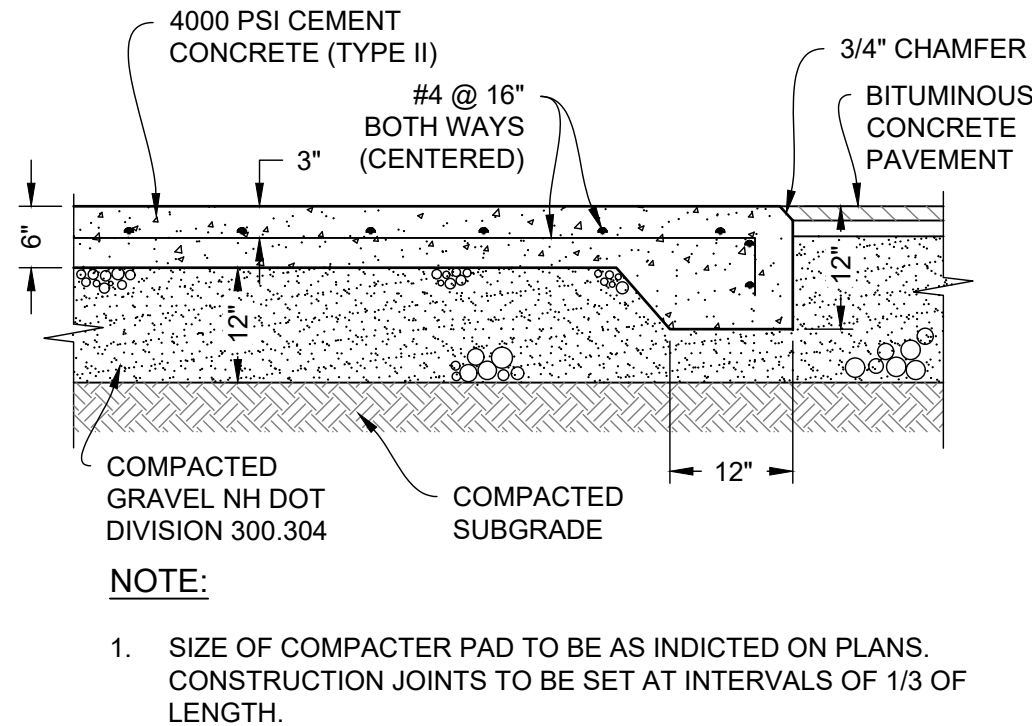
RETAINING WALL NOTES:

1. CONCRETE UNITS TO BE VERTICA BLOCKS AS MANUFACTURED BY ANCHOR WALL SYSTEMS OR APPROVED EQUAL.
2. WALL HEIGHT GREATER THAN 3 FEET WILL REQUIRE THE USE OF GEOSYNTHETIC REINFORCEMENT. CONSULT MANUFACTURER FOR PLACEMENT REQUIREMENTS.

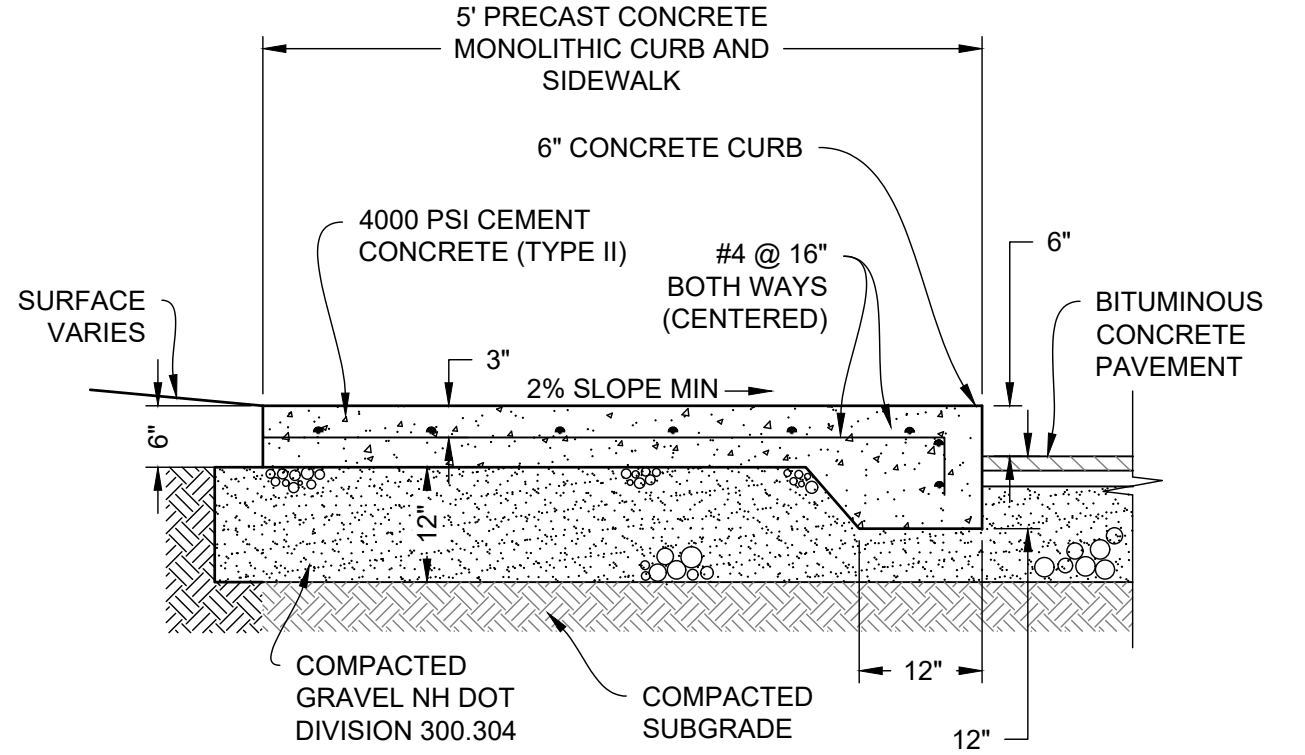
10 SEGMENTAL BLOCK RETAINING WALL  
NOT TO SCALE



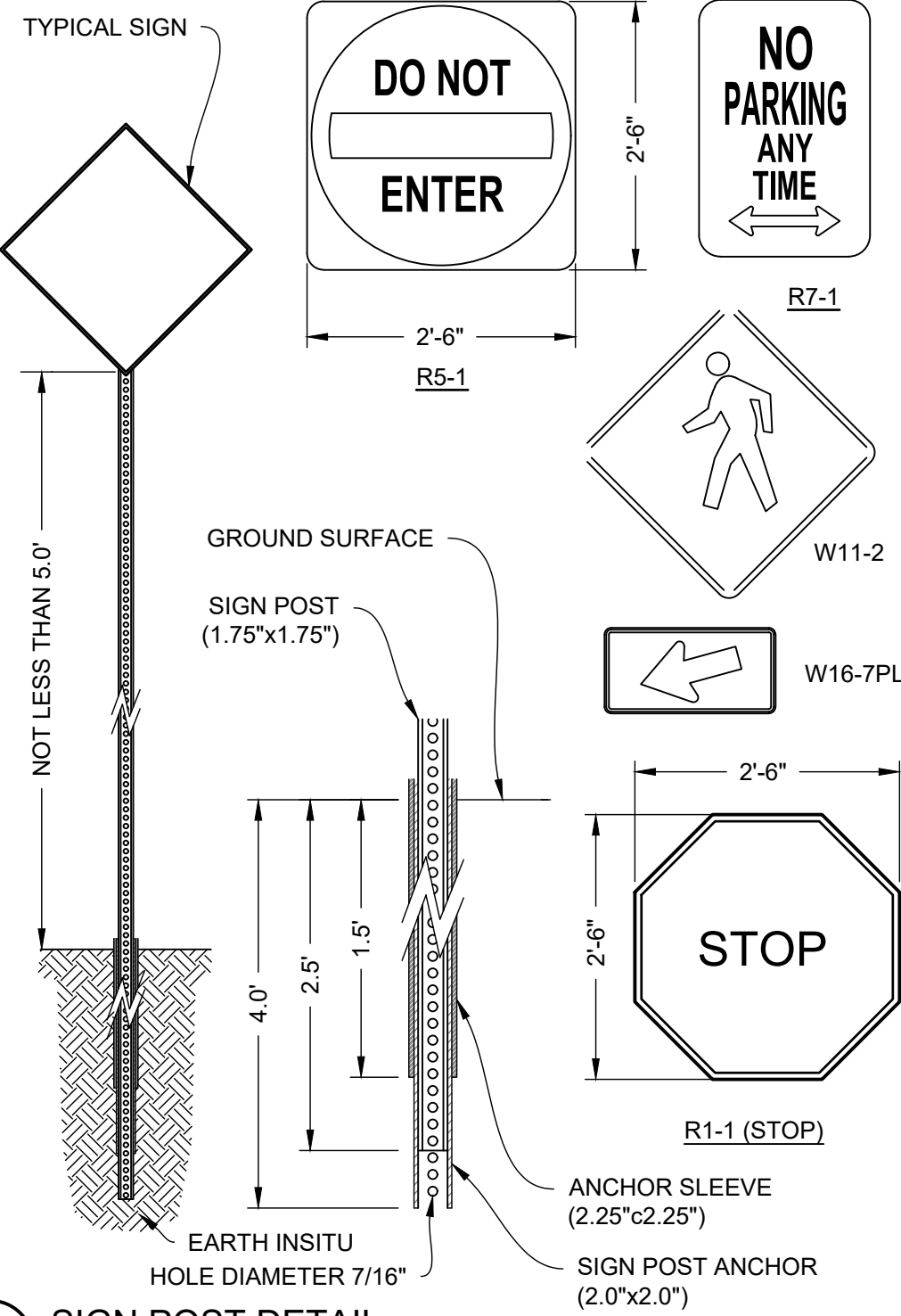
3 BIT. CONC. PAVE. SECTION - PARKING LOT  
NOT TO SCALE



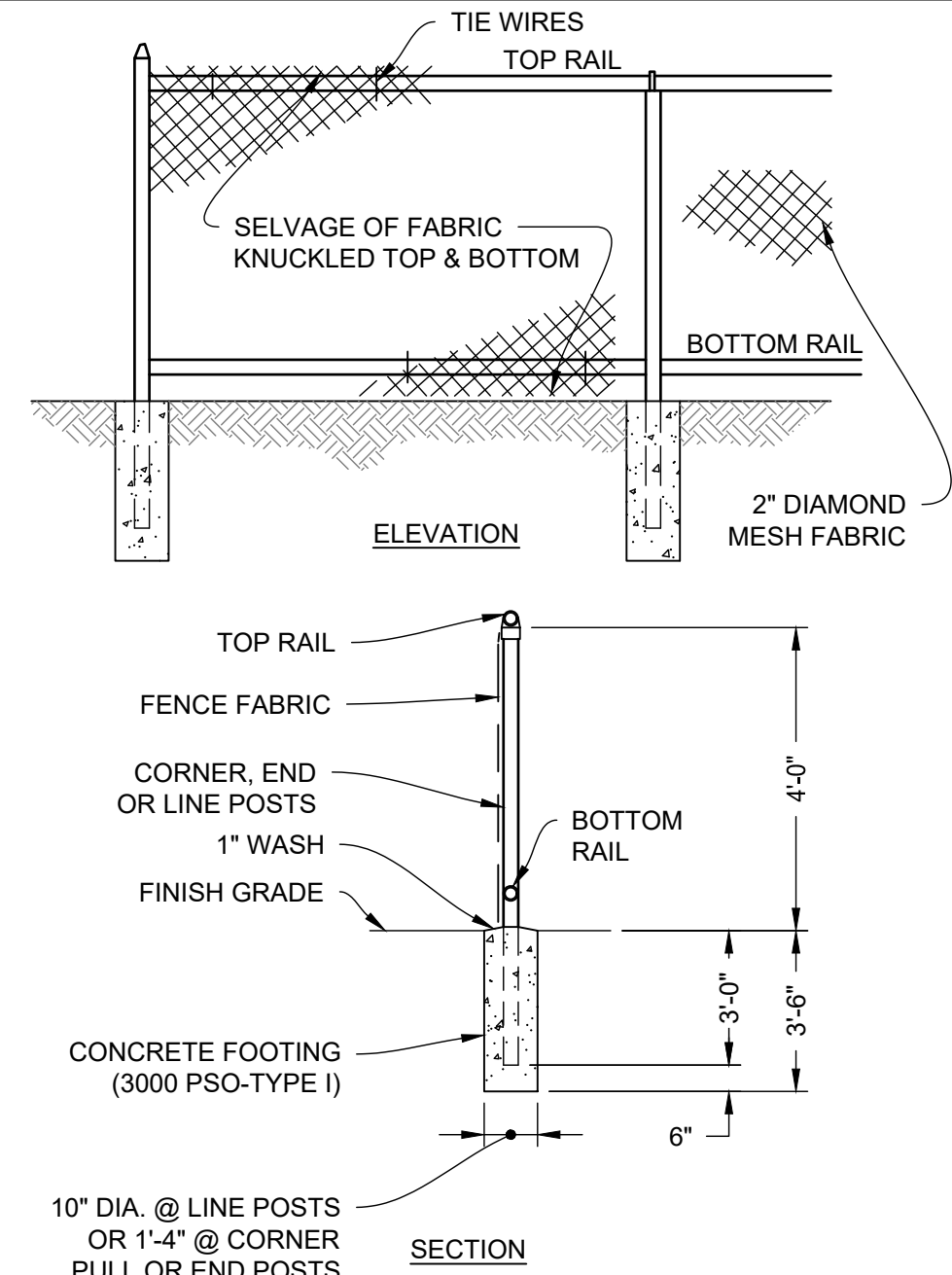
7 TYPICAL CONCRETE PAD SECTION  
NOT TO SCALE



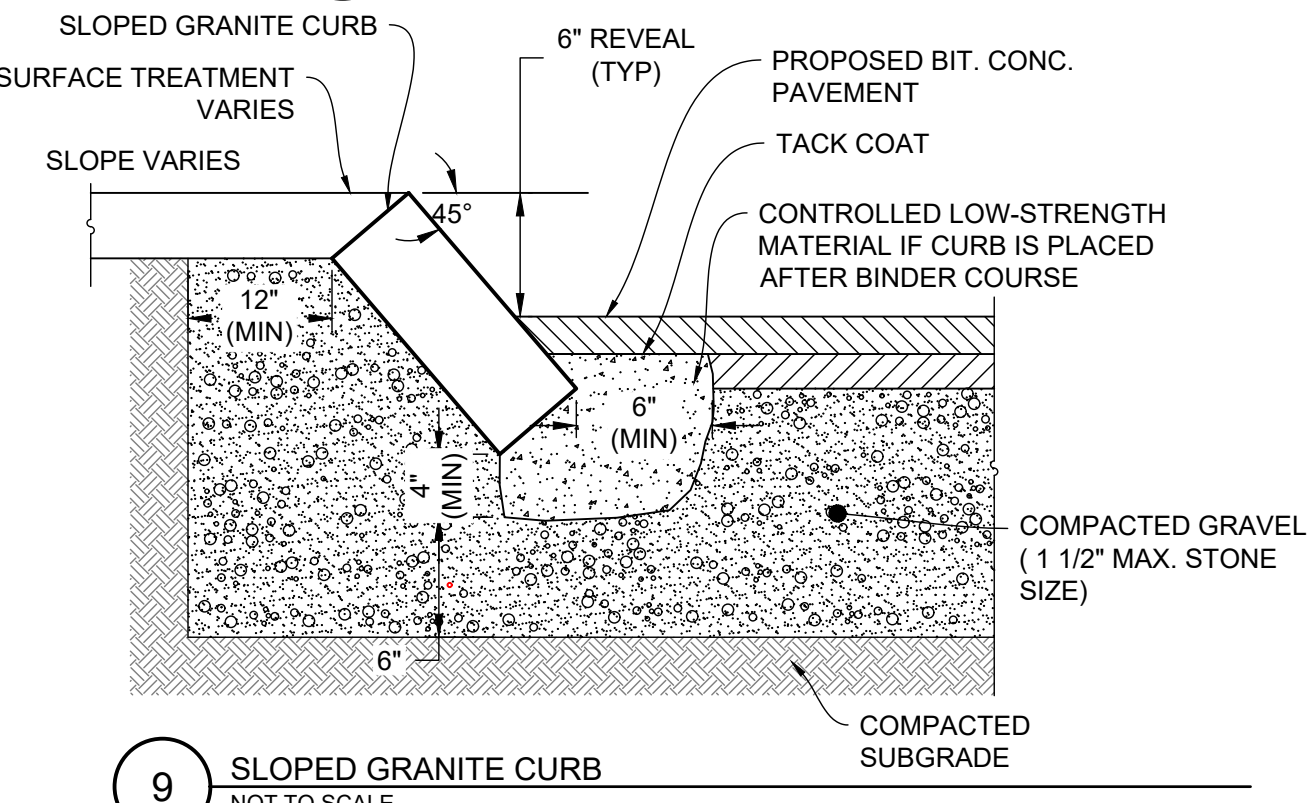
8 TYPICAL PRECAST CONCRETE SIDEWALK AND CURB SECTION  
NOT TO SCALE



5 SIGN POST DETAIL  
NOT TO SCALE



6 CHAIN LINK FENCE UP TO 6'  
NOT TO SCALE



9 SLOPED GRANITE CURB  
NOT TO SCALE

DATE	NO.	REVISIONS	BY

SITE PLAN  
LOT 3 - ROUTE 103 WEST, WARNER NH,  
ASSESSOR'S MAP 35 LOTS 4-3

OWNER COMET, LLC  
84 RANGE ROAD, WINDHAM, NH 03087

SITE DETAILS  
CS6001

Ranger Engineering Group, Inc.  
13 Red Roof Lane, Suite 203  
Salem NH, 03079  
Tel: 978-208-1762  
rangereng.com

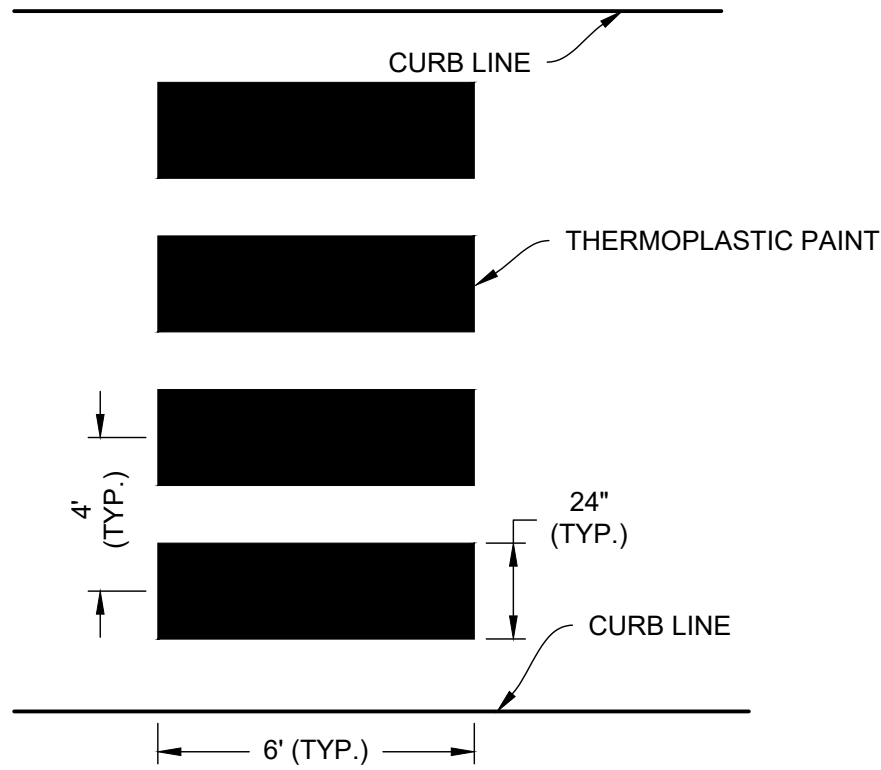


WARNER PLANNING BOARD CHAIRMAN:

DATE:

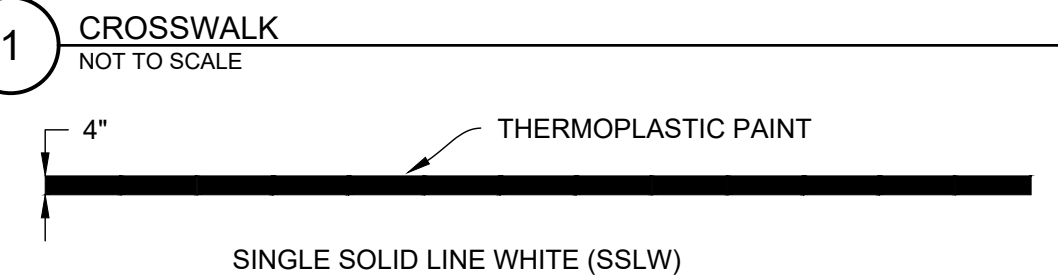


2:\K\PROJECTS\COMET - QUINN\22-271 LOT 3 WARNER NH\DESIGN\PLANS\SET\CS6001-1-656002.dwg  
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PLOT STYLE: T11EN\NCS.dsh  
PROJECT STATUS: ---



**NOTES:**

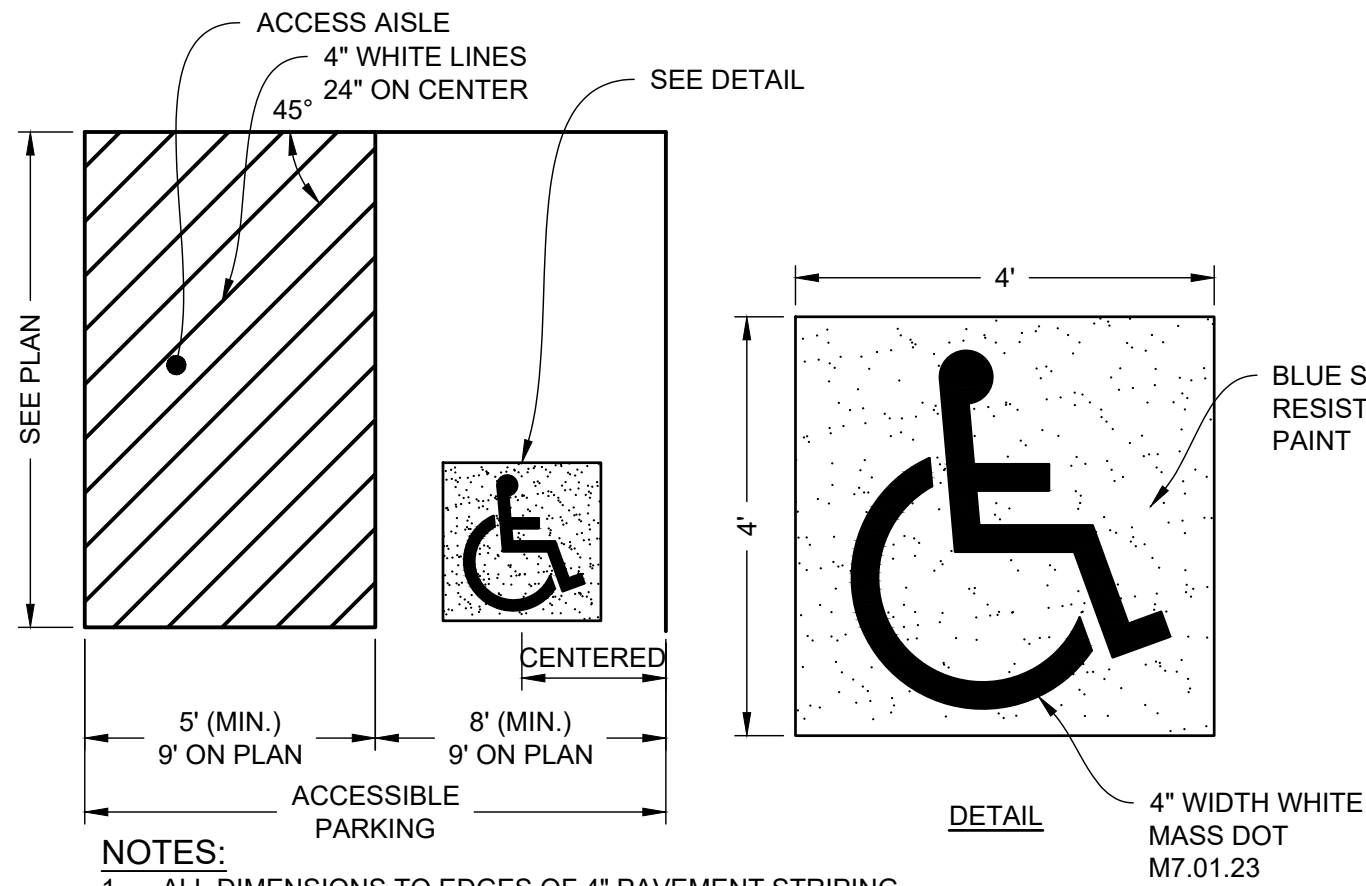
1. TWELVE INCH (12") LINES SHALL BE APPLIED IN ONE APPLICATION, NO COMBINATION OF LINES (TWO - 6 INCH LINES) WILL BE ACCEPTED.
2. LONGITUDINAL CROSSWALK LINES TO BE PARALLEL TO CURB LINE.
3. ALL LONGITUDINAL CROSSWALK LINES TO BE THE SAME LENGTH AND PROPERLY ALIGNED.
4. CROSS WALK SIDE SLOPE SHALL NOT EXCEED 1.5%.



**NOTE:**

1. ALL MARKINGS SHALL BE WHITE TRAFFIC PAINT. MASS DOT M7.01.23 FAST DRYING WHITE WATER-BORNE TRAFFIC PAINT.

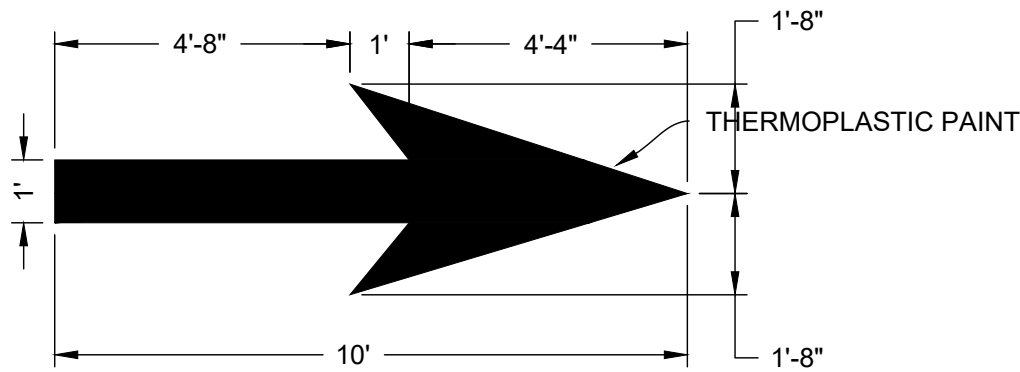
**2 SINGLE WHITE LINE DETAIL**  
NOT TO SCALE



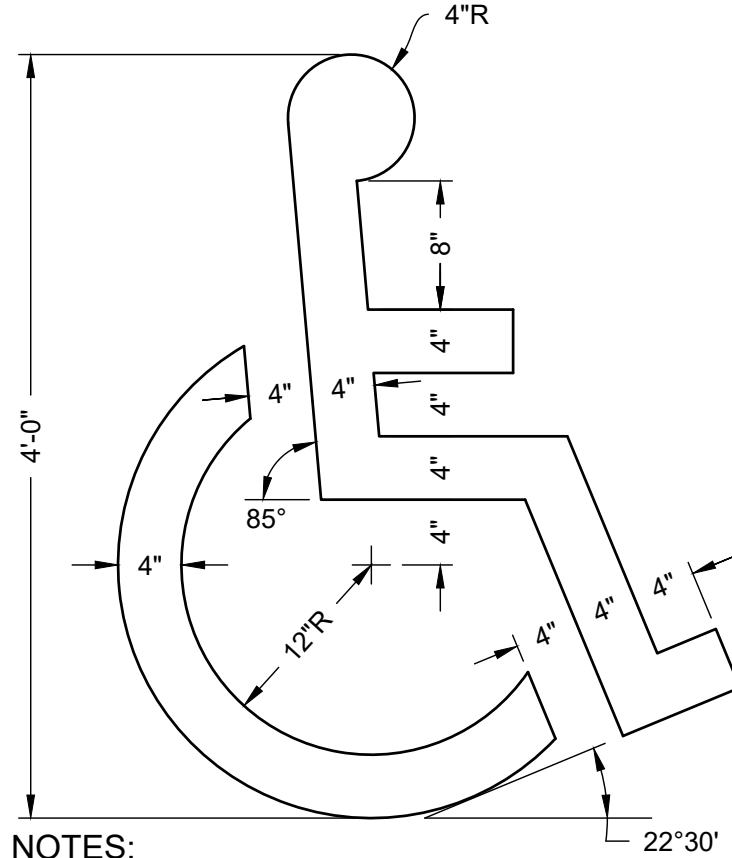
**NOTES:**

1. ALL DIMENSIONS TO EDGES OF 4" PAVEMENT STRIPING.
2. ALL STRIPING SHALL BE 4" WIDE SOLID WHITE PAVEMENT MARKINGS UNLESS OTHERWISE NOTED. MASS DOT M7.01.23 FAST DRYING WHITE WATER-BORNE TRAFFIC PAINT.
3. 8' STALL WIDTH REFERS TO 8' CLEAR BETWEEN INSIDE EDGES OF PAVEMENT MARKINGS.

**6 ACCESSIBLE PARKING SPACE**  
NOT TO SCALE



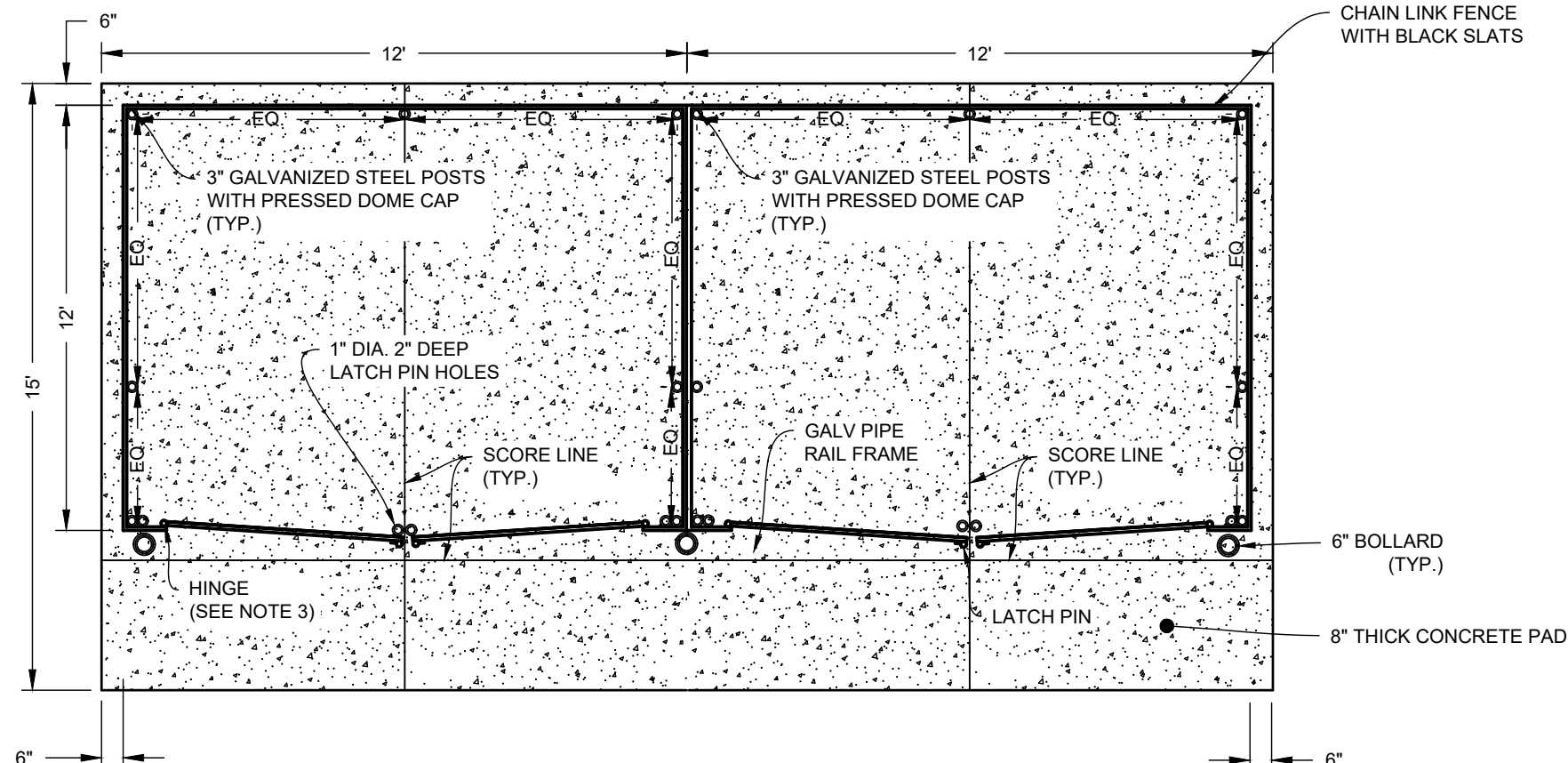
**3 STRAIGHT ARROW**  
NOT TO SCALE



**NOTES:**

1. SYMBOL SHALL BE CENTERED IN THE PARKING STALL AND SHALL BE WHITE.
2. PAVEMENT MARKING STRIPES SHALL BE WHITE. (DOUBLE STRIPED - SEE STALL LAYOUT DETAIL) MASS DOT M7.01.23 FAST DRYING WHITE WATER-BORNE TRAFFIC PAINT.
3. SYMBOL TO BE PAINTED IN ALL HANDICAP SPACES.

**4 ACCESSIBLE PARKING SPACE SYMBOL**  
NOT TO SCALE

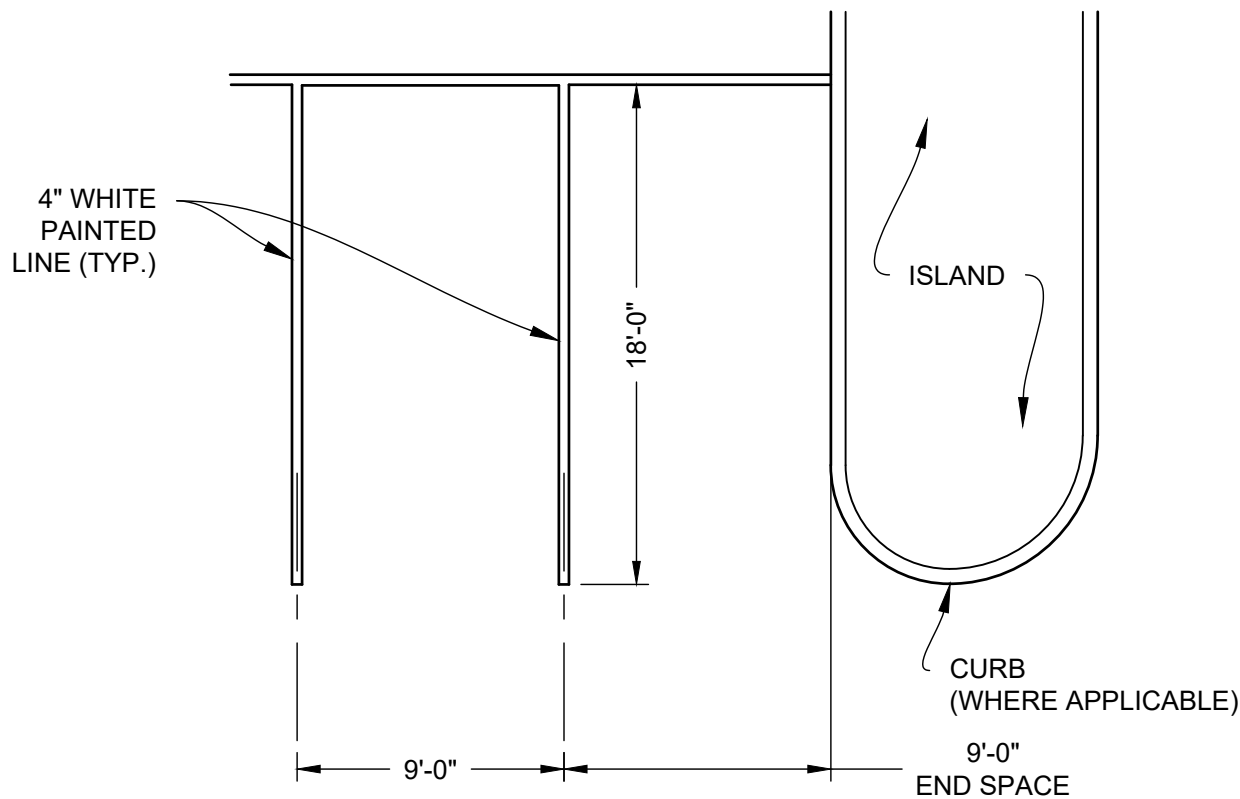


**PLAN VIEW**

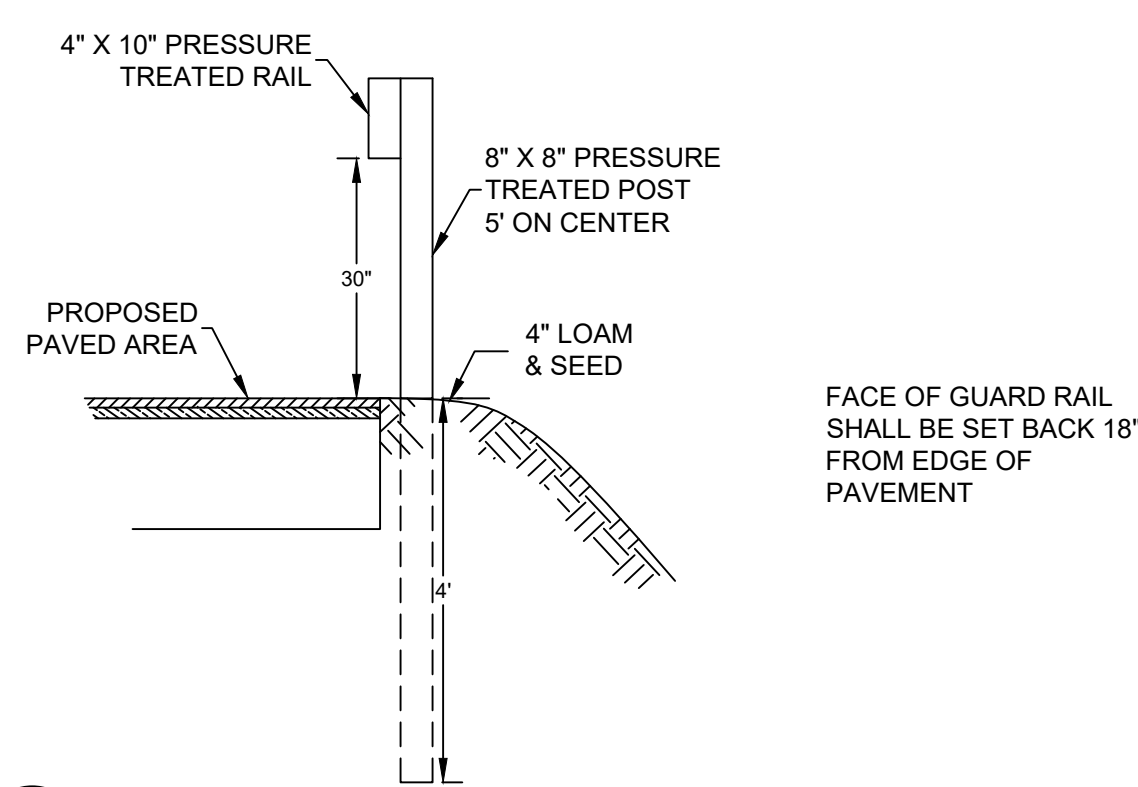
**DUMPSTER PAD NOTES**

1. SIZE OF DUMPSTER PAD TO BE AS INDICATED ON PLANS.
2. CONSTRUCTION JOINTS SHALL BE PLACED NO MORE THAN 40 FEET ON CENTER AND SHALL BE EQUALLY SPACED OVER THE LENGTH AND WIDTH OF PAD.
3. ALL HINGES TO BE SELF CLOSING SPRING HINGE FOR A MINIMUM 300 LB GATE CARRYING A 700LB POINT LOAD.

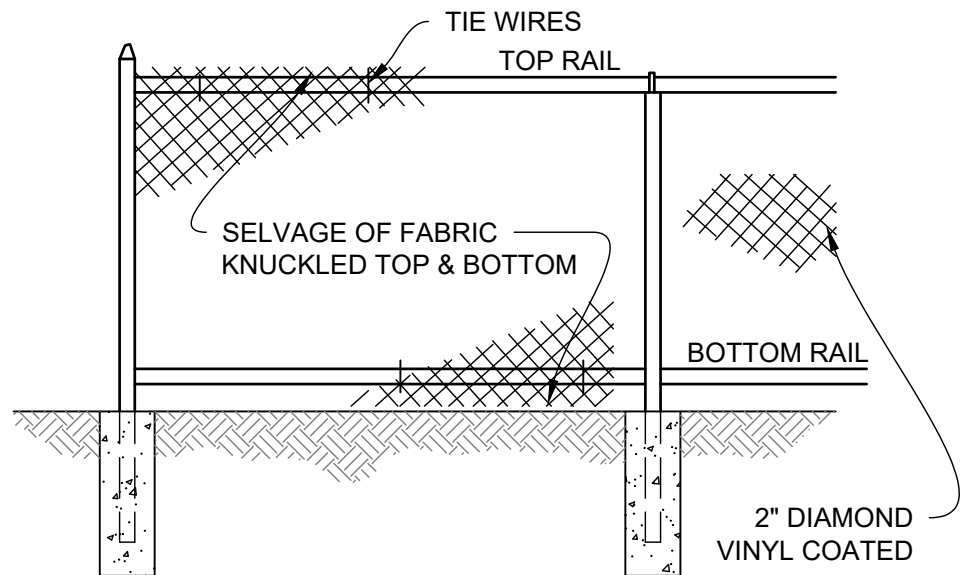
**5 DUMPSTER PAD WITH ENCLOSURE**  
NOT TO SCALE



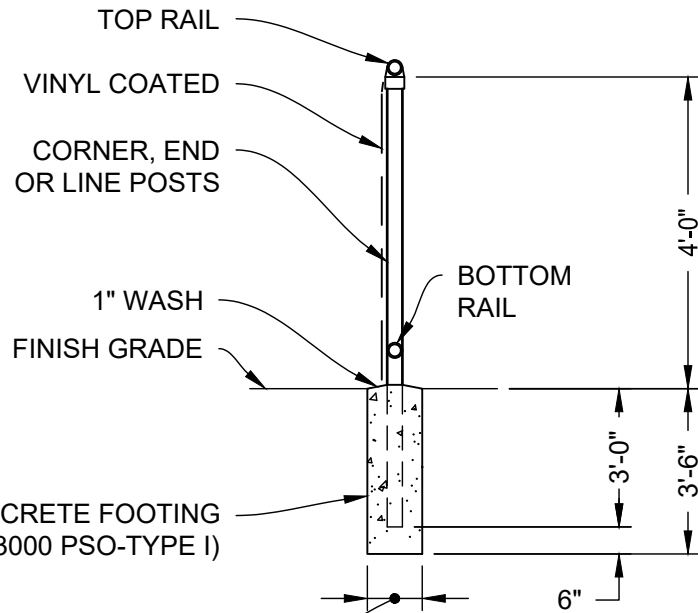
**7 SINGLE-STRIPED PARKING PAVEMENT MARKING**  
NOT TO SCALE



**8 WOOD BEAM GUARDRAIL WITH WOOD POST**  
NOT TO SCALE



**ELEVATION**



**SECTION**

**NOTE:**

1. GATES AND HARDWARE TO BE AS PER MANUFACTURER'S SPECIFICATION. SUBMIT MANUFACTURER'S LITERATURE FOR APPROVAL.

DATE	NO.	REVISIONS	BY

**SITE PLAN**  
LOT 3 - ROUTE 103 WEST, WARNER NH,  
ASSESSOR'S MAP 35 LOTS 4-3

OWNER COMET, LLC  
84 RANGE ROAD, WINDHAM, NH 03087

**SITE DETAILS**  
CS6002



**Ranger Engineering Group, Inc.**  
13 Red Roof Lane, Suite 203  
Salem NH, 03079  
Tel: 978-208-1762  
rangereng.com

DATE:  
2022-08-08

SCALE:

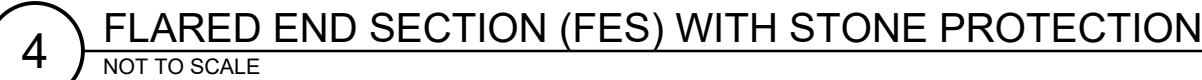
SHEET 10 OF 20



WARNER PLANNING BOARD CHAIRMAN:

DATE:





DATE	NO.	REVISIONS	BY

DATE: 2022-08-08	SCALE:	SHEET 11 OF 20
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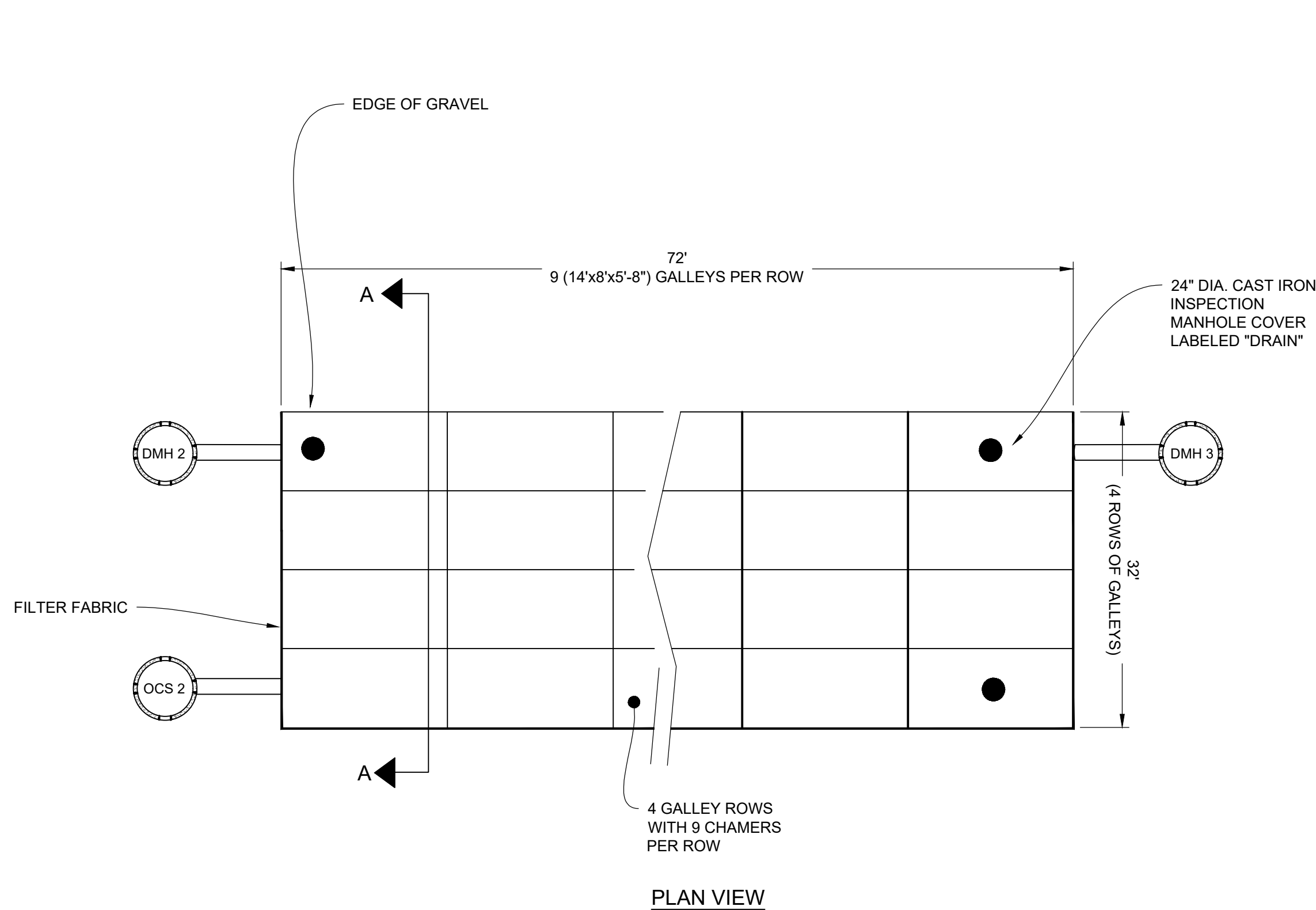


WARNER PLANNING BOARD CHAIRMAN:

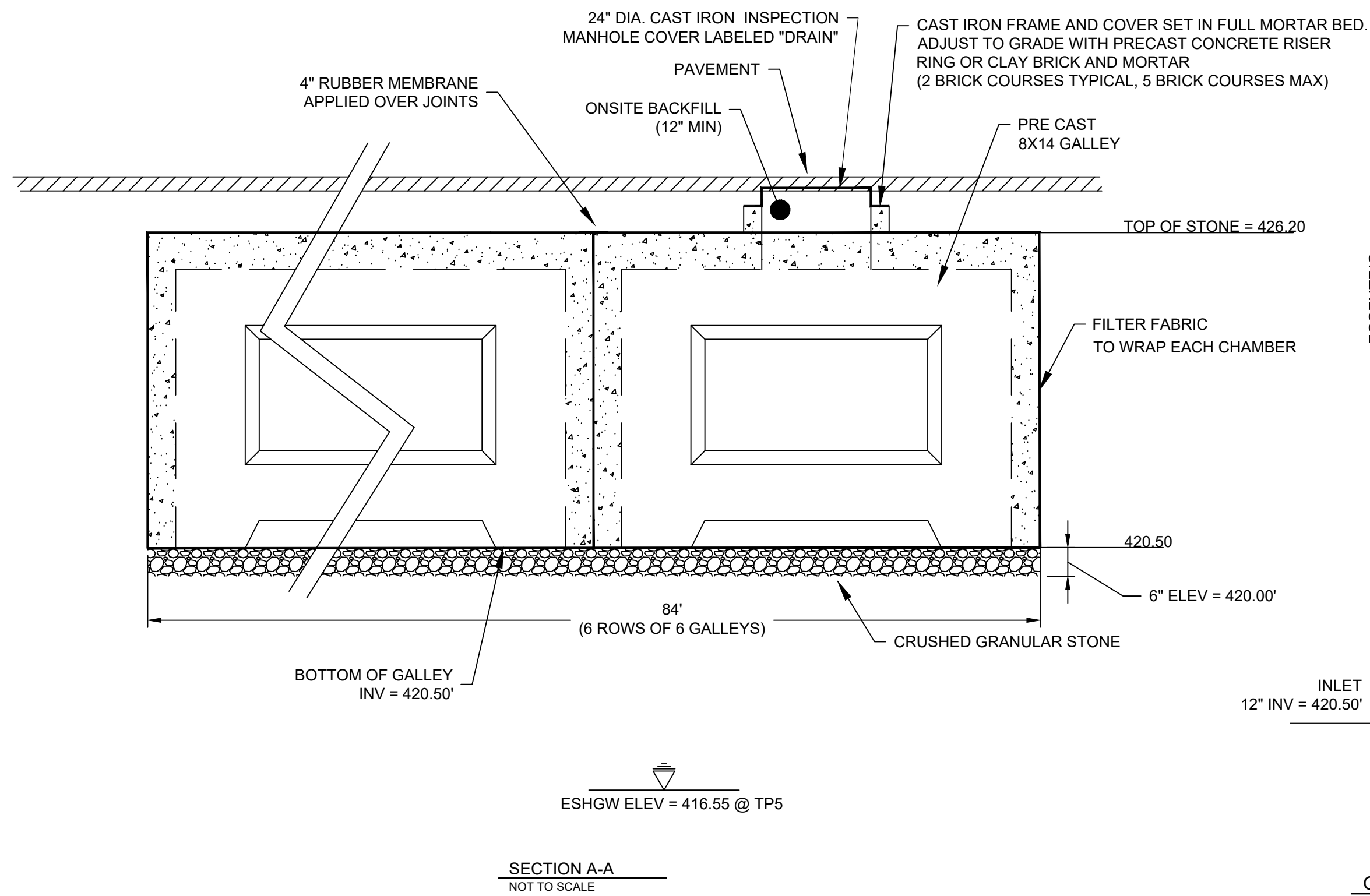
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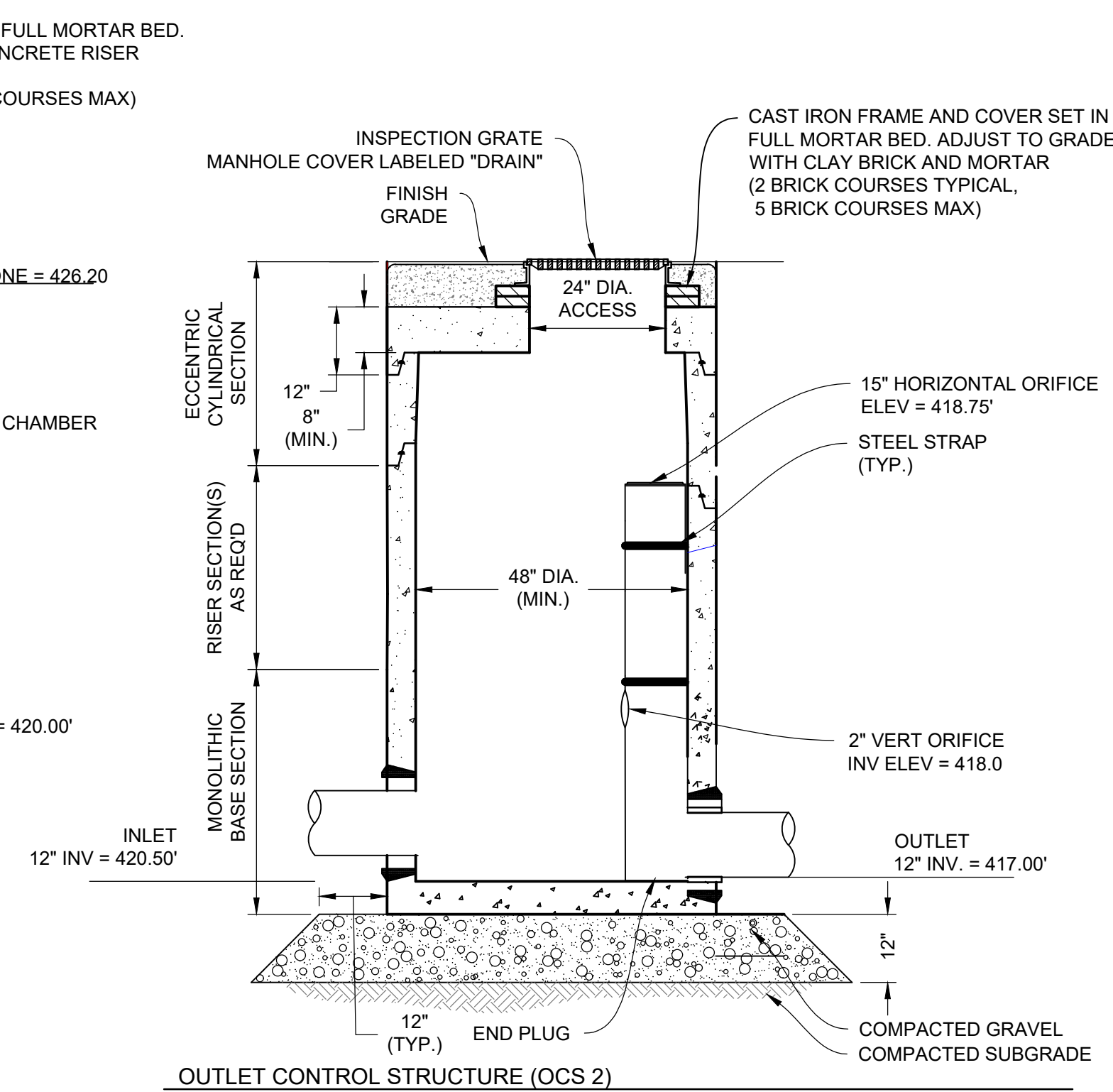
2:\K\PROJECTS\COMET - QUINN\22-271 LOT 3 WARNER NH\DESIGN\PLANS\SET\CS6022.dwg  
PLOTED: 8/8/2022 12:23 PM BY: CJP/PC  
PLOTSTYLE: ---  
PROJECT STATUS: ---



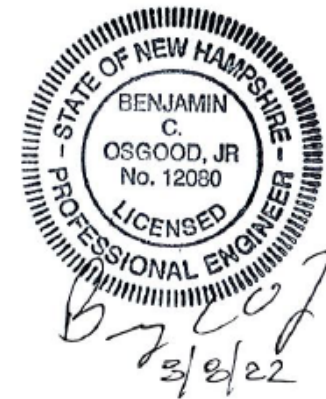
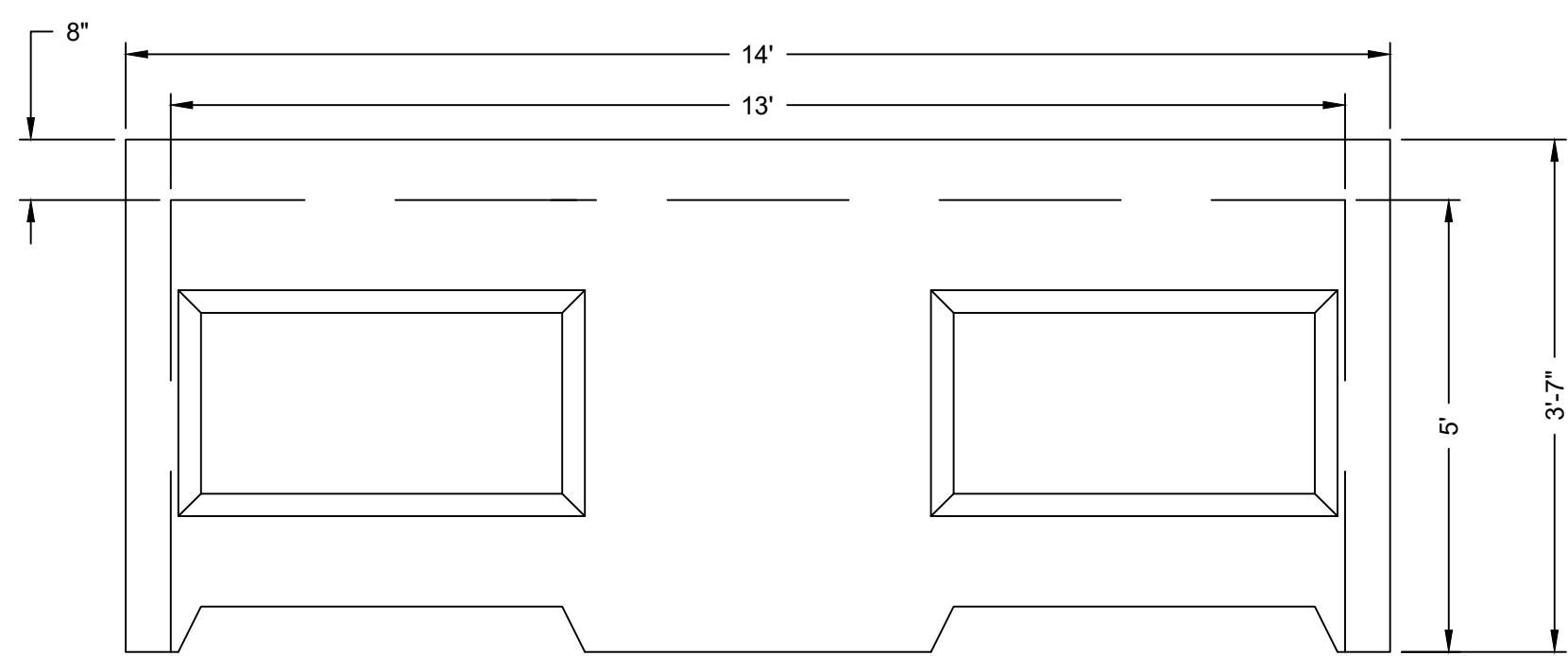
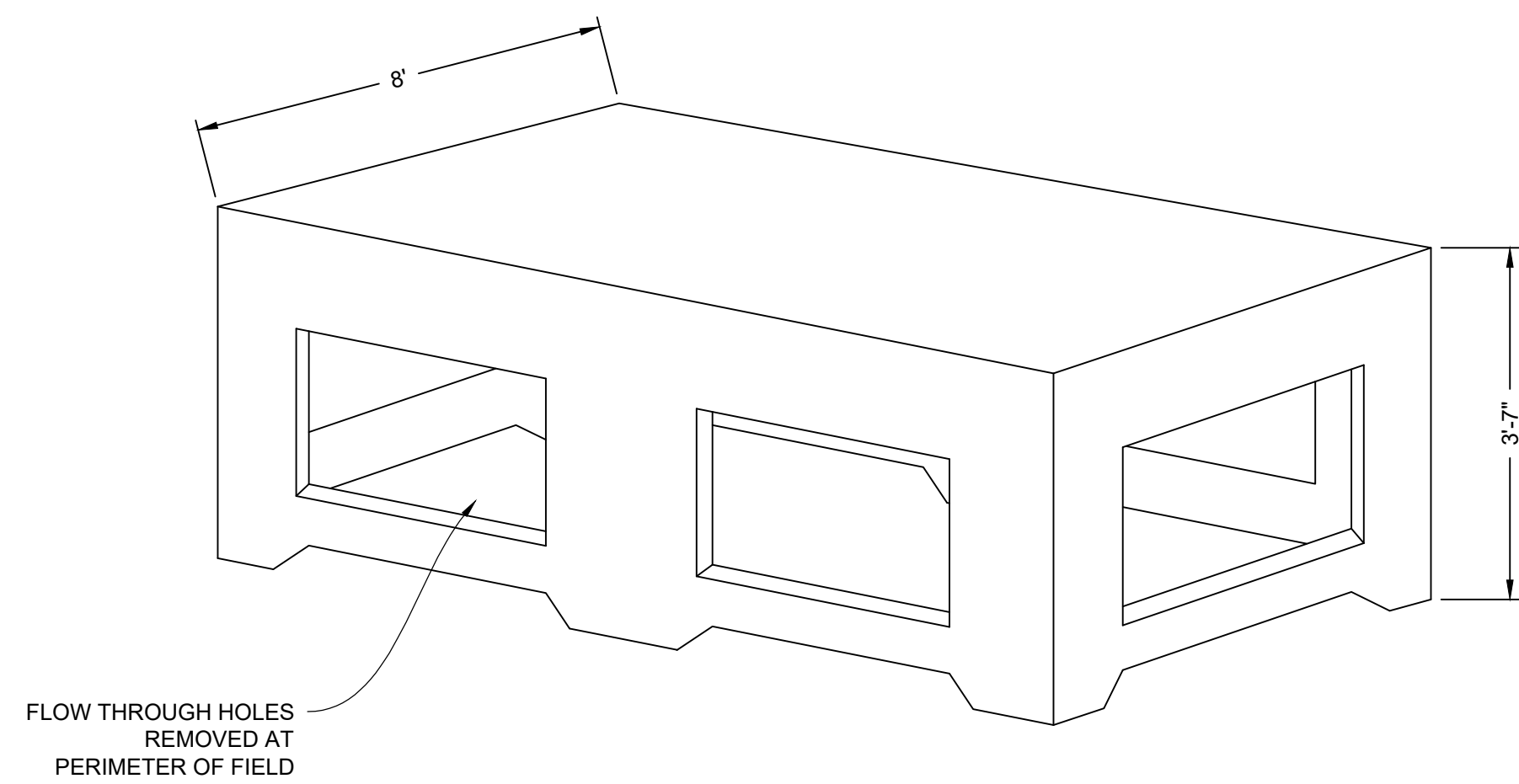
PLAN VIEW



SECTION A-A  
NOT TO SCALE



1 UNDERGROUND GALLEY STORMWATER STORAGE SYSTEM  
NOT TO SCALE



WARNER PLANNING BOARD CHAIRMAN:  
\_\_\_\_\_  
\_\_\_\_\_  
DATE: \_\_\_\_\_

DATE	NO.	REVISIONS	BY

SITE PLAN  
LOT 3 - ROUTE 103 WEST, WARNER NH,  
ASSESSOR'S MAP 35 LOTS 4-3

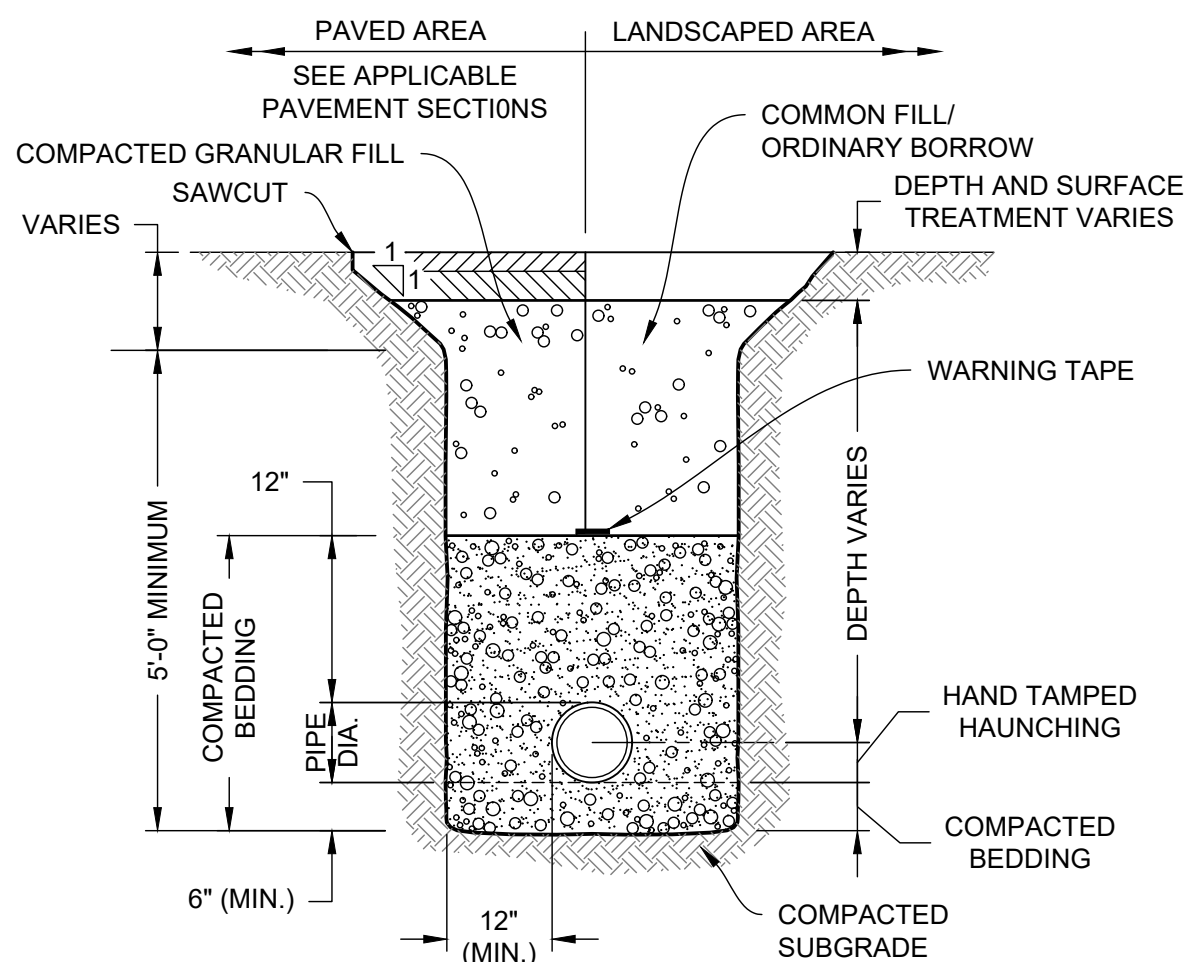
OWNER COMET, LLC  
84 RANGE ROAD, WINDHAM, NH 03087

STORMWATER STORAGE SYSTEM DETAILS  
CS6022

 **Ranger Engineering Group, Inc.**  
13 Red Roof Lane, Suite 203  
Salem NH, 03079  
Tel: 978-208-1762  
rangereng.com



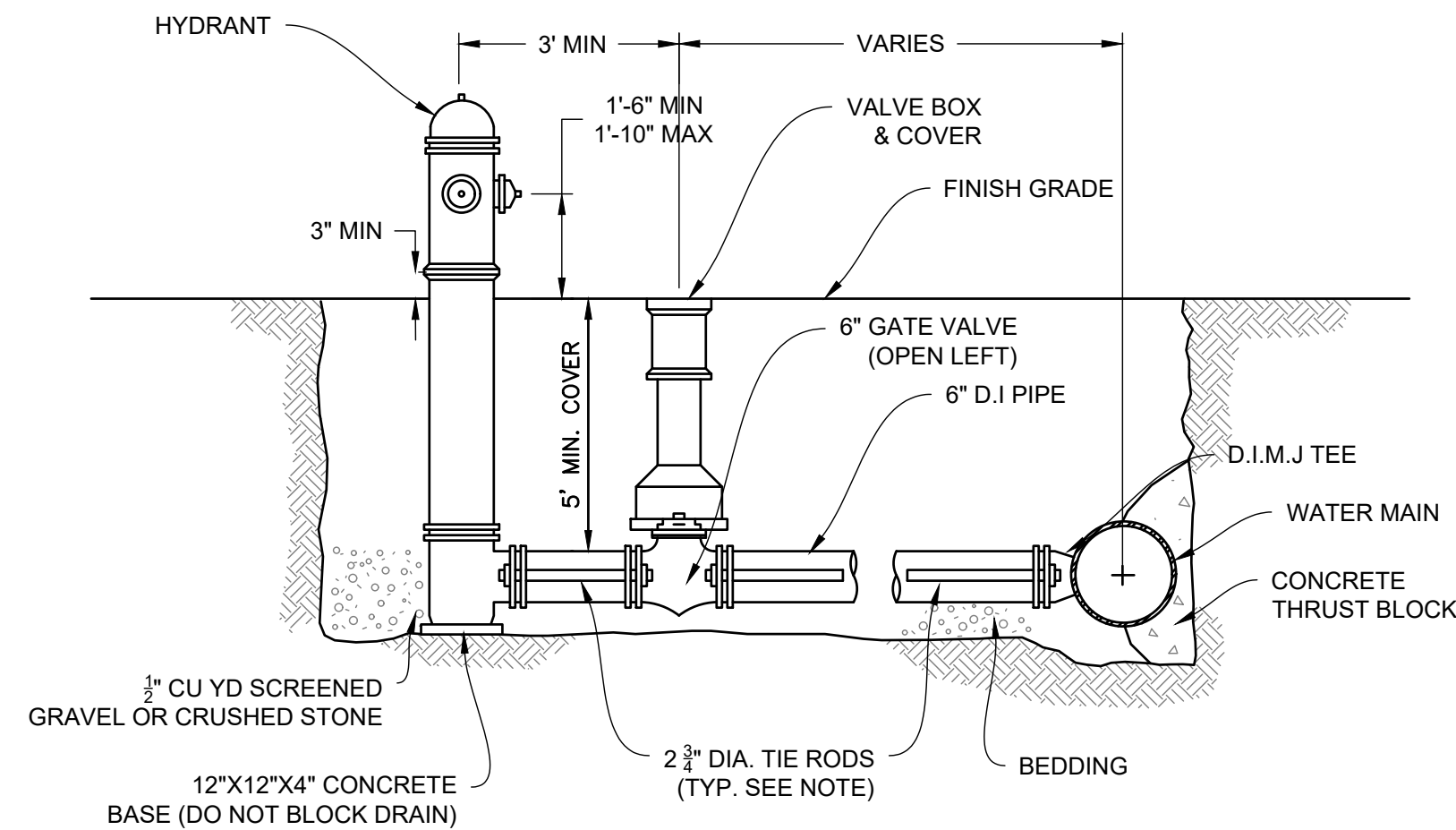
2:\K\PROJECTS\COMET - QUINN\22-271 LOT 3 WARNER NH\DESIGN\PLANSET\CS6051.dwg  
PLOTED: 8/8/2022 11:56 AM BY: Cef PC  
PLOTSTYLE: TITEN.NCS  
PROJECT STATUS: —



NOTES:

- WHERE UTILITY TRENCHES ARE CONSTRUCTED THROUGH DETENTION BASIN BERMS OR OTHER SUCH SPECIAL SECTIONS, PLACE TRENCH BACKFILL WITH MATERIALS SIMILAR TO THE SPECIAL SECTION REQUIREMENTS.
- USE METALLIC TRACING/WARNING TAPE OVER ALL PIPES.

1 WATER TRENCH  
NOT TO SCALE



NOTES:

- CONTINUE TIE RODS TO MAIN OR AT LEAST 20' ALONG HYDRANT LATERAL.
- HYDRANT AND VALVE TO OPEN LEFT

4 HYDRANT  
NOT TO SCALE

TABLE OF DIMENSIONS											
BENDS	B	C	D	E	F	BENDS	B	C	D	E	F
6" 111/4°	8"	15"	12"	24"	12"	6" 45°	8"	30"	12"	24"	14"
6" 221/2°	"	19"	"	"	13"	6" 90°	"	30"	"	"	27"
8" 111/4°	"	20"	"	"	12"	8" 45°	"	30"	"	"	24"
8" 221/2°	"	22"	"	"	17"	8" 90°	"	38"	"	"	36"
12" 111/4°	"	30"	"	"	15"	12" 45°	"	40"	"	"	40"
12" 221/2°	"	35"	"	"	25"	12" 90°	"	60"	"	"	52"

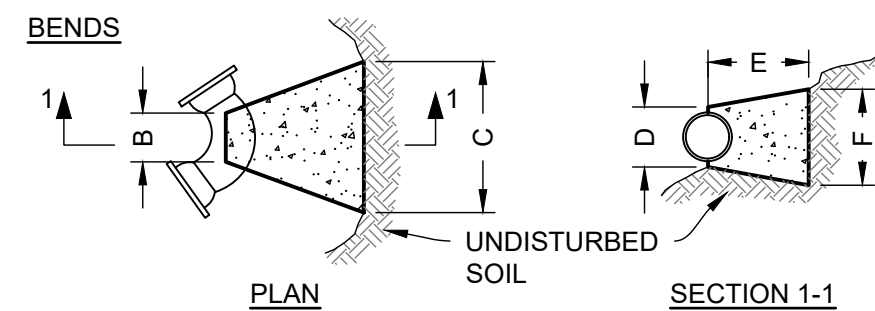
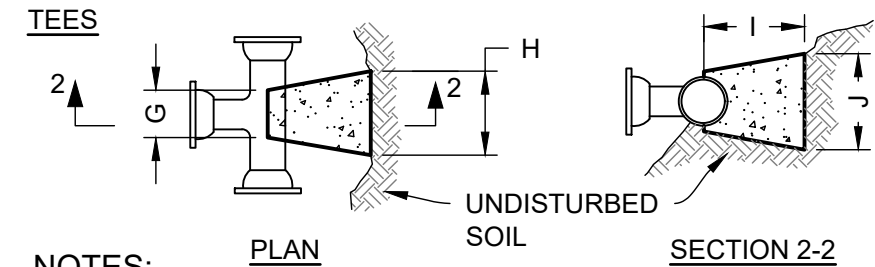


TABLE OF DIMENSIONS											
TEES	G	H	I	J		TEES	G	H	I	J	
6"x 6"x 6"	12"	24"	24"	18"		12"x 12"x 6"	12"	24"	24"	18"	
8"x 8"x 6"	"	"	"	"		12"x 12"x 8"	"	"	"	24"	
8"x 8"x 8"	"	"	"	24"		12"x 12"x 12"	"	36"	"	36"	

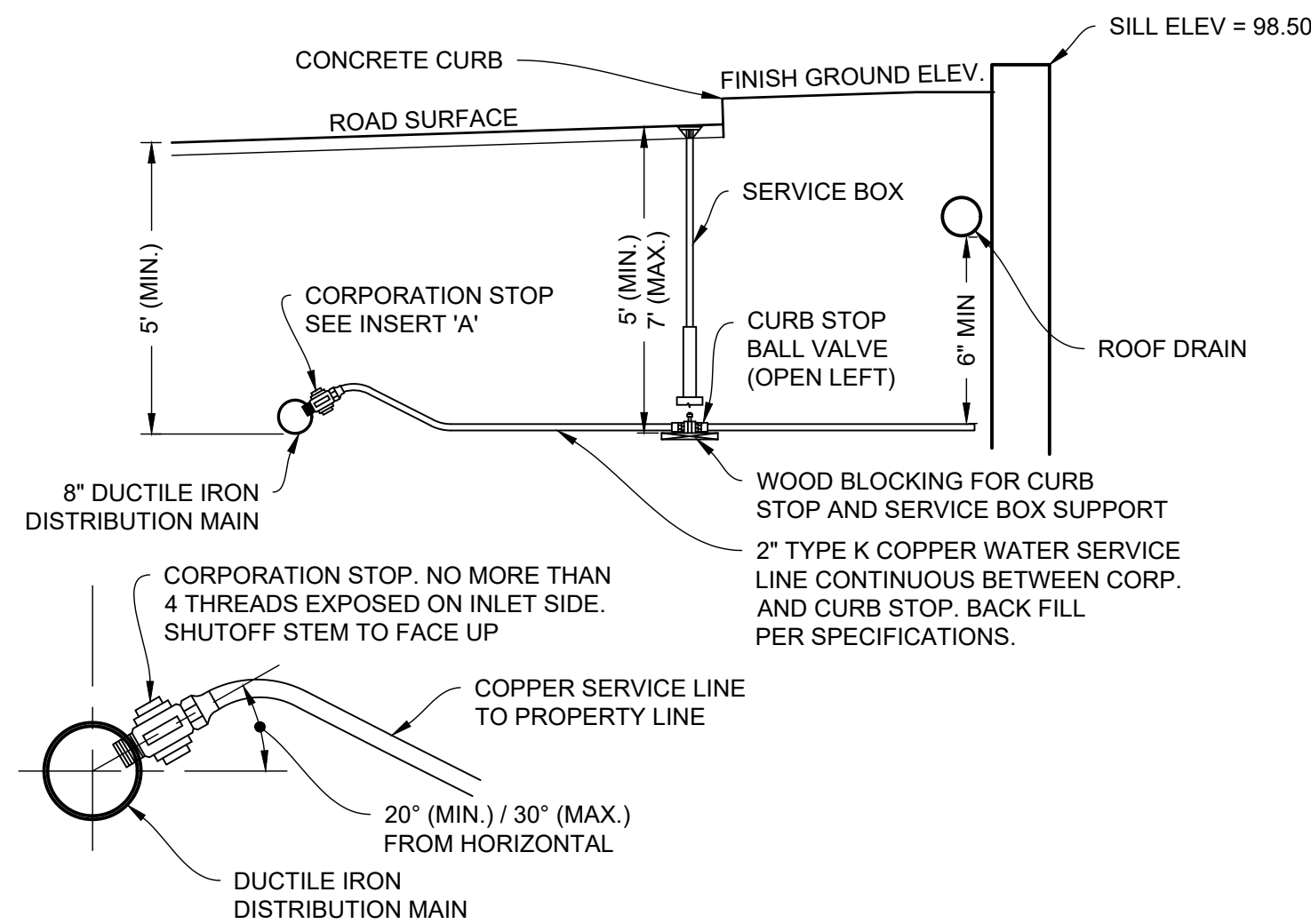
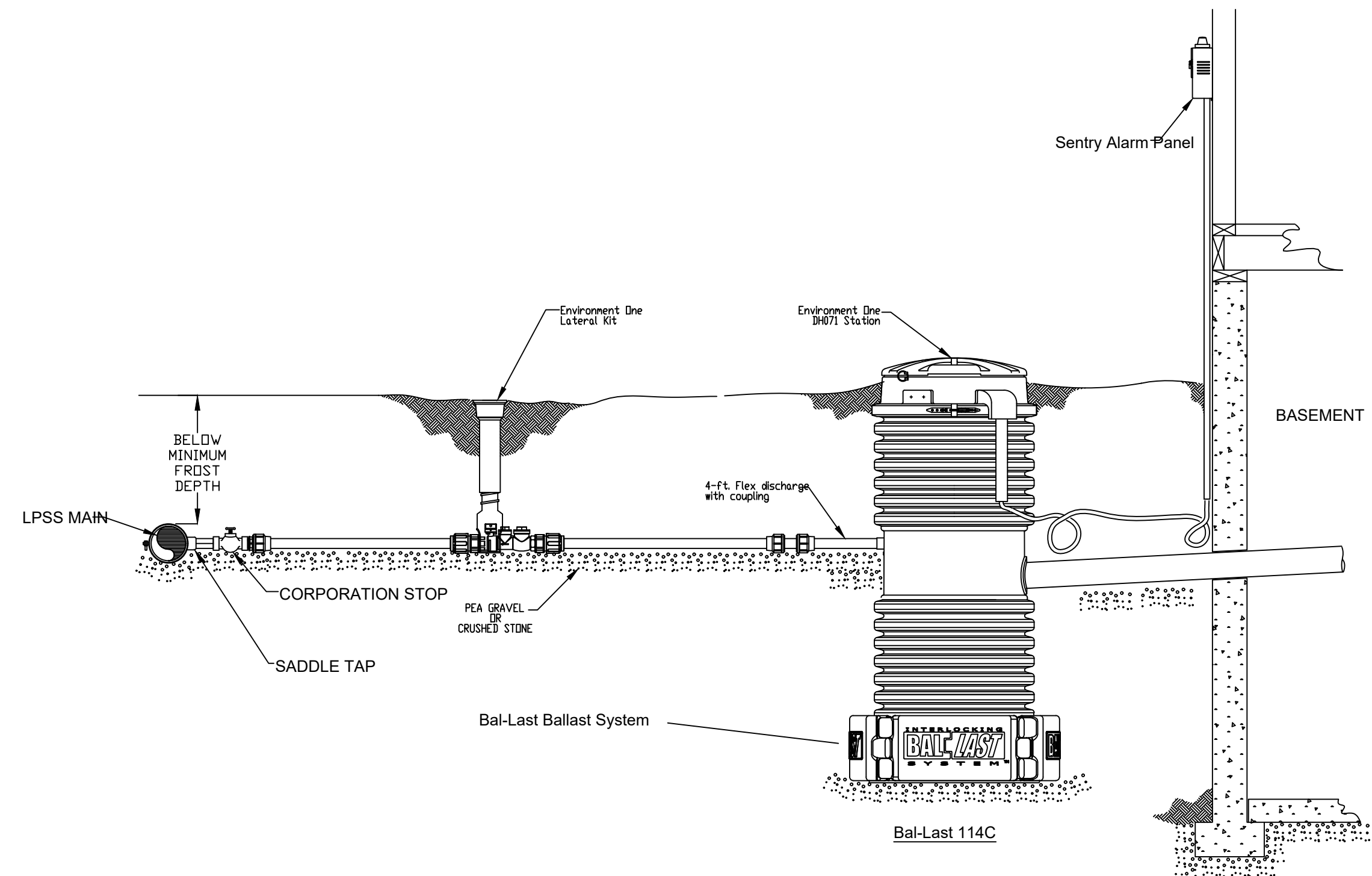


NOTES:

- PROVIDE BLOCKS FOR TAPPING SLEEVES, DEAD ENDS, GATE VALVES, AND VERTICAL BENDS (SAME SIZE AS REQUIRED FOR TEES). PROVIDE ANCHOR RODS AT VERTICAL BENDS AND GATE VALVES.
- CONCRETE SHALL NOT BE PLACED AGAINST PIPE BEYOND FITTING.
- CONCRETE SHALL BE 3000 PSI-TYPE I.

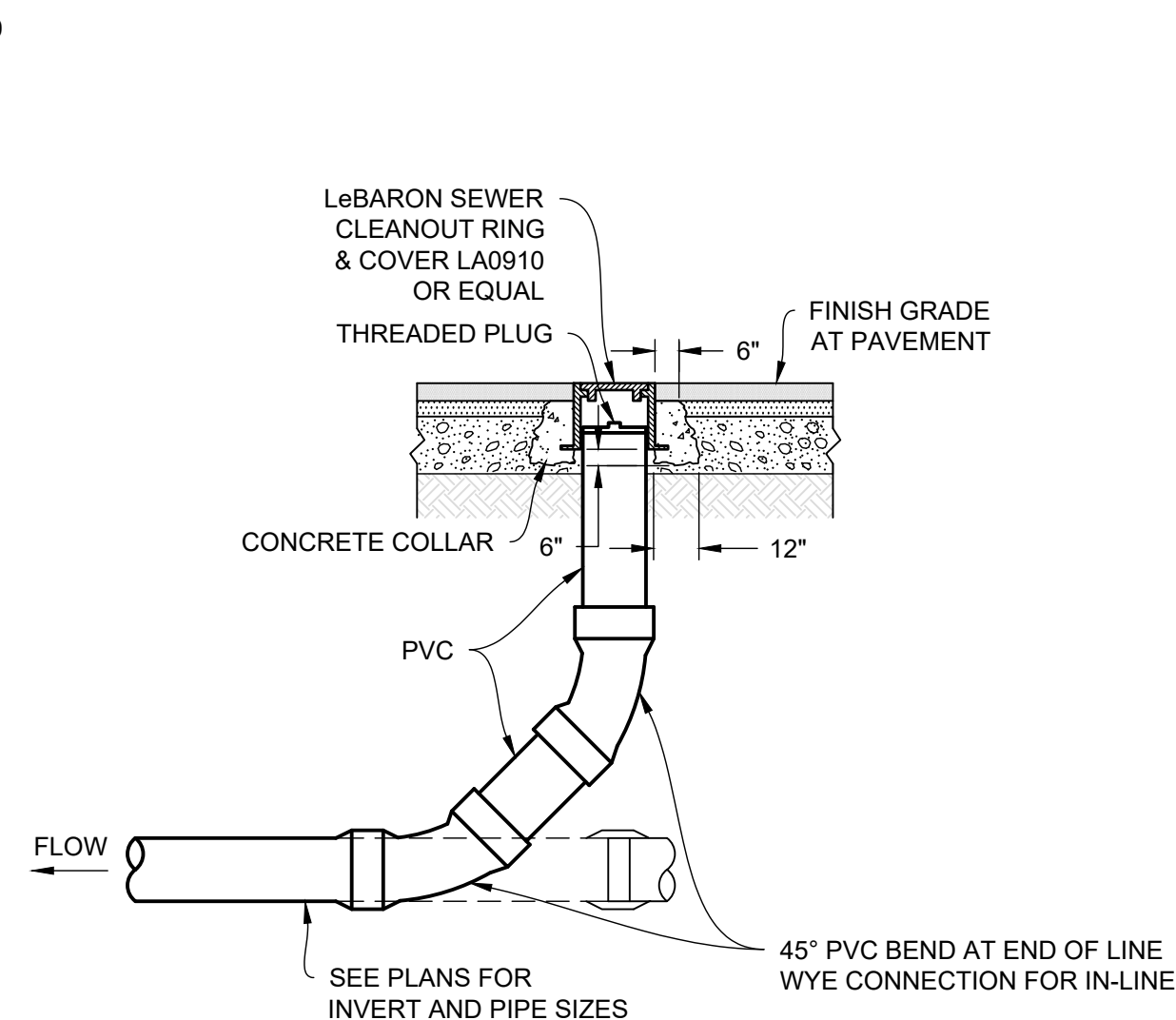
2 CONCRETE THRUST BLOCK  
NOT TO SCALE

3 TYPICAL E/ONE PUMP AND BALLAST INSTALLATION  
NOT TO SCALE

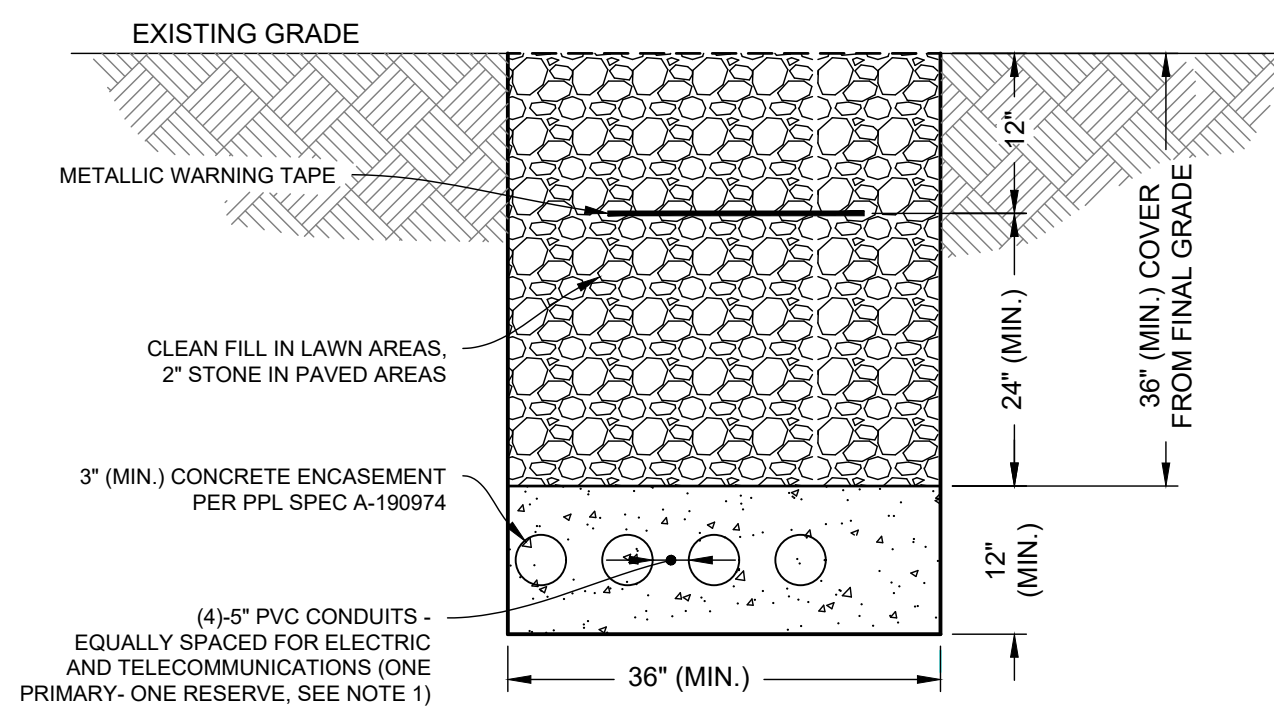


INSERT 'A'

5 WATER SERVICE INSTALLATION  
NOT TO SCALE



6 SEWER CLEANOUT - PAVED AREA  
NOT TO SCALE



NOTE:

- ADD ONE ADDITIONAL 5" CONDUIT WHERE FIRE ALARM (FA) IS DESIGNATED ON UTILITY PLANS.

7 ELECTRIC/ TELECOMMUNICATION DUCT BANK  
NOT TO SCALE



DATE	NO.	REVISIONS	BY

SITE PLAN  
LOT 3 - ROUTE 103 WEST, WARNER NH,  
ASSESSOR'S MAP 35 LOTS 4-3

OWNER COMET, LLC  
84 RANGE ROAD, WINDHAM, NH 03087

UTILITY DETAILS  
CS6051



Ranger Engineering Group, Inc.  
13 Red Roof Lane, Suite 203  
Salem NH, 03079  
Tel: 978-208-1762  
rangereng.com

DATE:  
2022-08-08

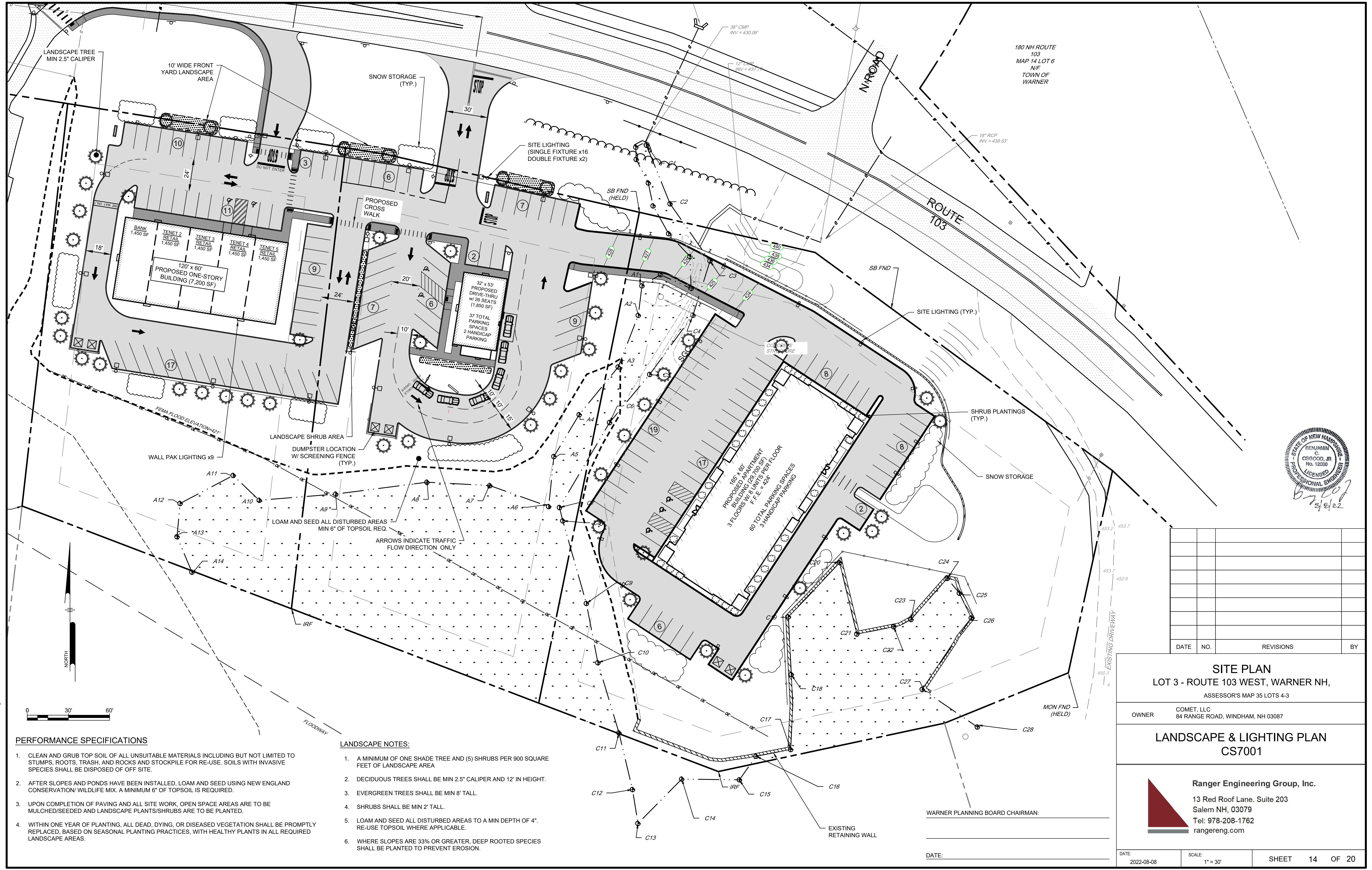
SCALE:

SHEET 13 OF 20

WARNER PLANNING BOARD CHAIRMAN:

DATE:





2:\K\PROJECTS\COMET - QUINN\22-271 LOT 3 WARNER NH\DESIGN\PLANS\LANDSCAPE\CS7001.dwg  
PLOTED: 8/8/2022 11:58 AM BY: CJP/PC  
PLOTSTYLE: TITERNHCS.dwg  
PROJECT STATUS: —

PERFORMANCE SPECIFICATIONS

- CLEAN AND GRUB TOP SOIL OF ALL UNSUITABLE MATERIALS INCLUDING BUT NOT LIMITED TO STUMPS, ROOTS, TRASH, AND ROCKS AND STOCKPILE FOR RE-USE. SOILS WITH INVASIVE SPECIES SHALL BE DISPOSED OF OFF SITE.
- AFTER SLOPES AND PONDS HAVE BEEN INSTALLED, LOAM AND SEED USING NEW ENGLAND CONSERVATION/ WILDLIFE MIX. A MINIMUM 6" OF TOPSOIL IS REQUIRED.
- UPON COMPLETION OF PAVING AND ALL SITE WORK, OPEN SPACE AREAS ARE TO BE MULCHED/SEEDED AND LANDSCAPE PLANTS/SHRUBS ARE TO BE PLANTED.
- WITHIN ONE YEAR OF PLANTING, ALL DEAD, DYING, OR DISEASED VEGETATION SHALL BE PROMPTLY REPLACED, BASED ON SEASONAL PLANTING PRACTICES, WITH HEALTHY PLANTS IN ALL REQUIRED LANDSCAPE AREAS.

LANDSCAPE NOTES:

- A MINIMUM OF ONE SHADE TREE AND (5) SHRUBS PER 900 SQUARE FEET OF LANDSCAPE AREA
- DECIDUOUS TREES SHALL BE MIN 2.5" CALIPER AND 12' IN HEIGHT.
- EVERGREEN TREES SHALL BE MIN 8' TALL.
- SHRUBS SHALL BE MIN 2' TALL.
- LOAM AND SEED ALL DISTURBED AREAS TO A MIN DEPTH OF 4". RE-USE TOPSOIL WHERE APPLICABLE.
- WHERE SLOPES ARE 33% OR GREATER, DEEP ROOTED SPECIES SHALL BE PLANTED TO PREVENT EROSION.

DATE	NO.	REVISIONS	BY

SITE PLAN  
LOT 3 - ROUTE 103 WEST, WARNER NH,  
ASSESSOR'S MAP 35 LOTS 4-3

OWNER COMET, LLC  
84 RANGE ROAD, WINDHAM, NH 03087

LANDSCAPE & LIGHTING PLAN  
CS7001



Ranger Engineering Group, Inc.  
13 Red Roof Lane, Suite 203  
Salem NH, 03079  
Tel: 978-208-1762  
rangereng.com

WARNER PLANNING BOARD CHAIRMAN:

DATE:

DATE:  
2022-08-08

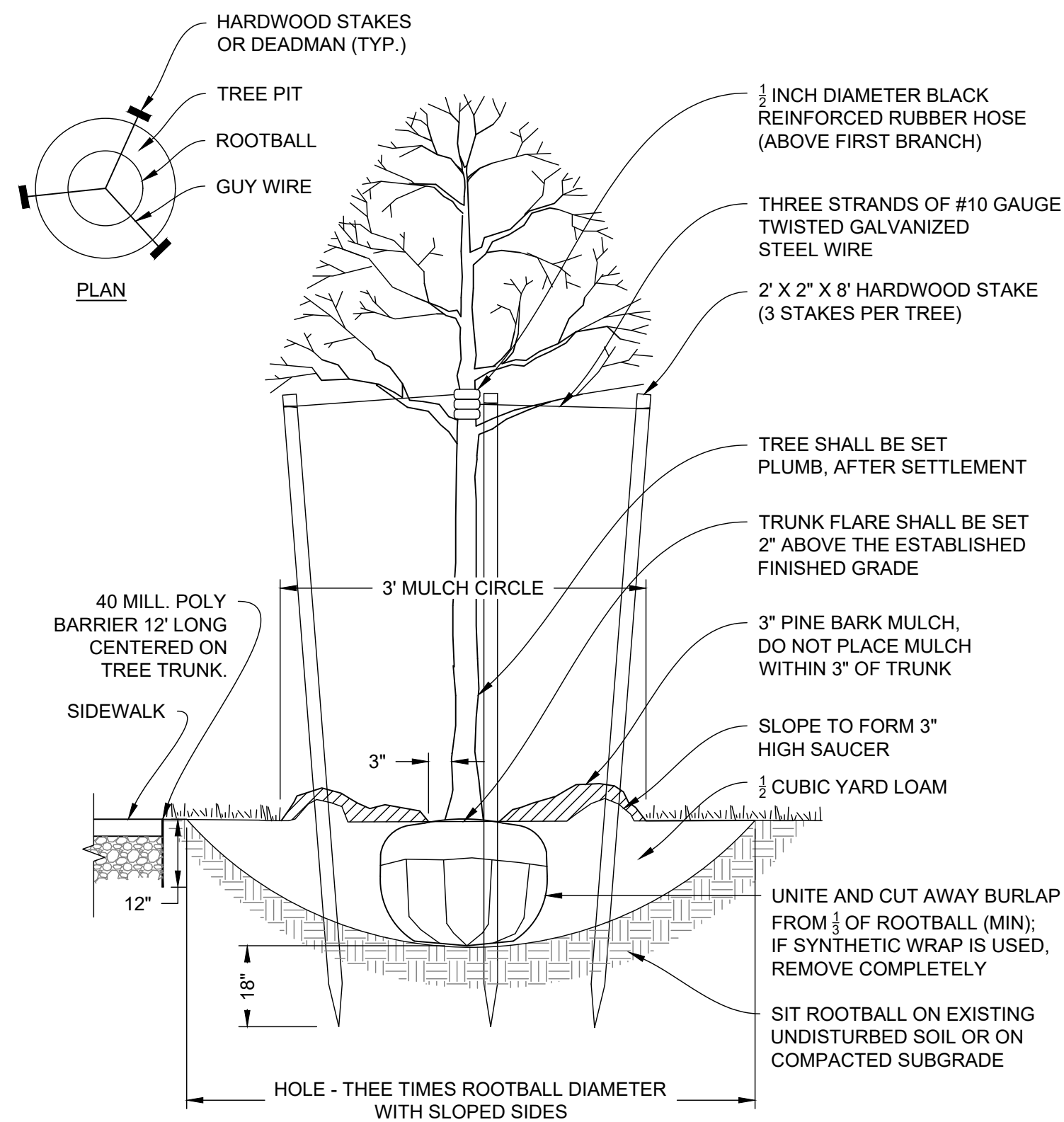
SCALE:  
1" = 30'

SHEET 14 OF 20





## CORNUS ALTERNIFOLIA



COMMON NAME	AMOUNT	SUPPLIER
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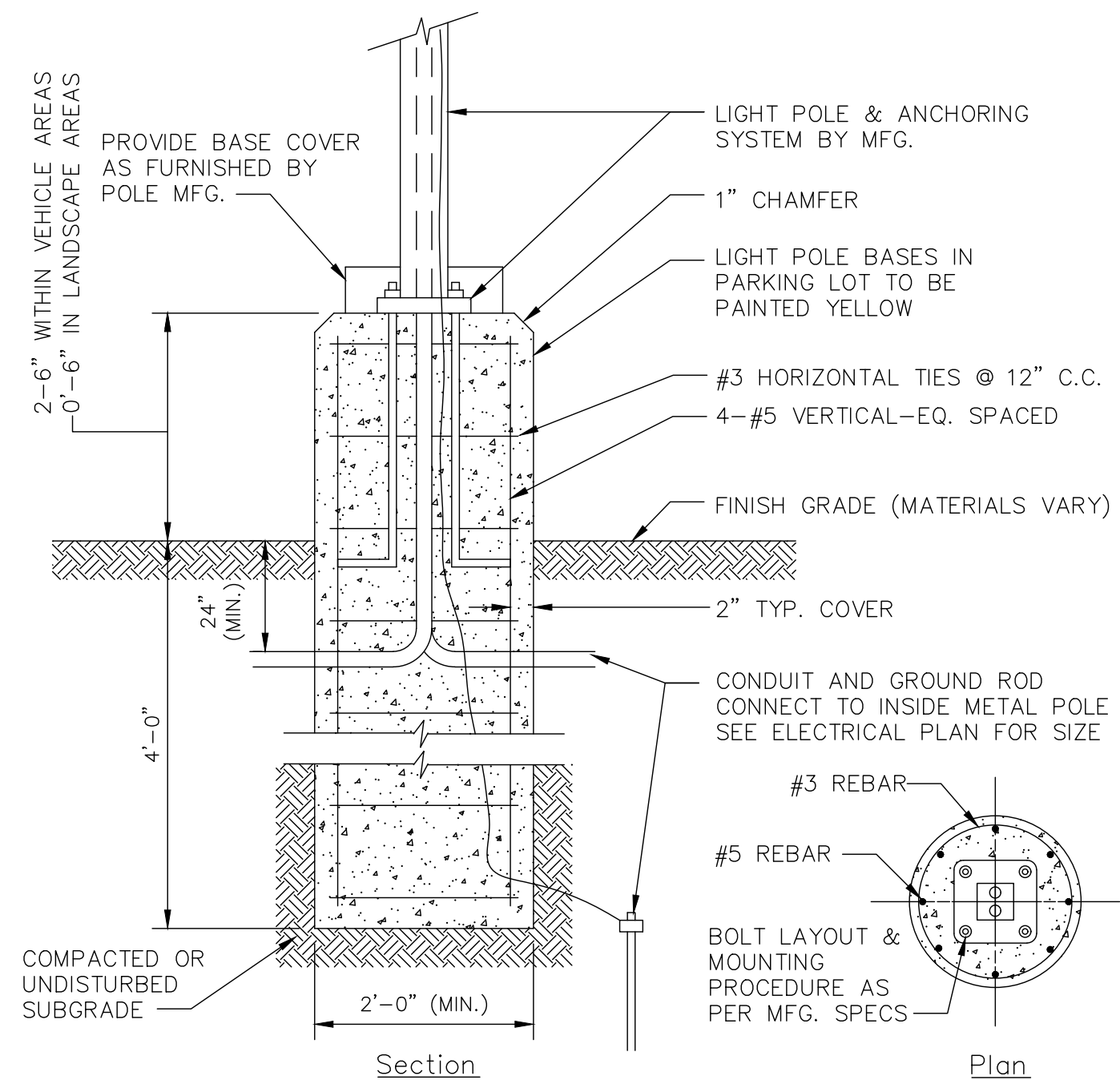
NEW ENGLAND CONSERVATION/ WILDLIFE MIX	1.0 LB./1750 S.F.	NEW ENGLAND WETLAND PLANTS, INC
--	-------------------	------------------------------------

SCIENTIFIC NAME	COMMON NAME
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	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	
	PICEA GLAUCA	WHITE SPRUCE	
	JUNIPERUS VIRGINIANA	RED CEDAR	
	ACER RUBRUM	RED MAPLE	
	QUERCUS RUBRA	CRAB APPLE	
	QUERCUS ALBA	WHITE OAK	
	PINUS STROBUS	WHITE PINE	

SCIENTIFIC NAME	COMMON NAME
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	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	
	SPIREA BETULIFOLIA	WHITE SPIREA	
	ILEX GLABRA	EVERGREEN WINTERBERRY	
	RHODODENDRON FERRUGINEUM	RHODODENDRON	
		WINTERGEM BOXWOOD	
		ALTERNATE LEAVED DOGWOOD	



1. LIGHT POLE FOUNDATION DESIGN IS SUBJECT TO CHANGE BASED ON FINAL POLE AND FIXTURE SELECTION AND GEOTECHNICAL SITE INVESTIGATION.

2 LIGHT POLE FOUNDATION (UP TO 15' POLE)  
NOT TO SCALE



DATE	NO.	REVISIONS	BY

ASSESSOR'S MAP 35 LOTS 4-3

OWNER      COMET, LLC  
84 RANGE ROAD, WINDHAM, NH 03087

## LANDSCAPE & LIGHTING DETAILS

### CS7002



Tel: 978-208-1762  
rangereng.com

DATE: 2022-08-08

SCALE:  
1" = 30'

SHEET 15 OF 20

1. CLEAN AND GRUB TOP SOIL OF ALL UNSUITABLE MATERIALS INCLUDING BUT NOT LIMITED TO STUMPS, ROOTS, TRASH, AND ROCKS AND STOCKPILE FOR RE-USE. SOILS WITH INVASIVE SPECIES SHALL BE DISPOSED OF OFF SITE.
2. AFTER SLOPES AND PONDS HAVE BEEN INSTALLED, LOAM AND SEED USING NEW ENGLAND CONSERVATION/ WILDLIFE MIX. A MINIMUM 6" OF TOPSOIL IS REQUIRED.
3. UPON COMPLETION OF PAVING AND ALL SITE WORK, OPEN SPACE AREAS ARE TO BE MULCHED/SEEDED AND LANDSCAPE PLANTS/SHRUBS ARE TO BE PLANTED.
4. WITHIN ONE YEAR OF PLANTING, ALL DEAD, DYING, OR DISEASED VEGETATION SHALL BE PROMPTLY REPLACED, BASED ON SEASONAL PLANTING PRACTICES, WITH HEALTHY PLANTS IN ALL REQUIRED LANDSCAPE AREAS.

1. A MINIMUM OF ONE SHADE TREE AND (5) SHRUBS PER 900 SQUARE FEET OF LANDSCAPE AREA
2. DECIDUOUS TREES SHALL BE MIN 2.5" CALIPER AND 12' IN HEIGHT.
3. EVERGREEN TREES SHALL BE MIN 8' TALL.
4. SHRUBS SHALL BE MIN 2' TALL.
5. LOAM AND SEED ALL DISTURBED AREAS TO A MIN DEPTH OF 4". RE-USE TOPSOIL WHERE APPLICABLE.
6. WHERE SLOPES ARE 33% OR GREATER, DEEP ROOTED SPECIES SHALL BE PLANTED TO PREVENT EROSION.

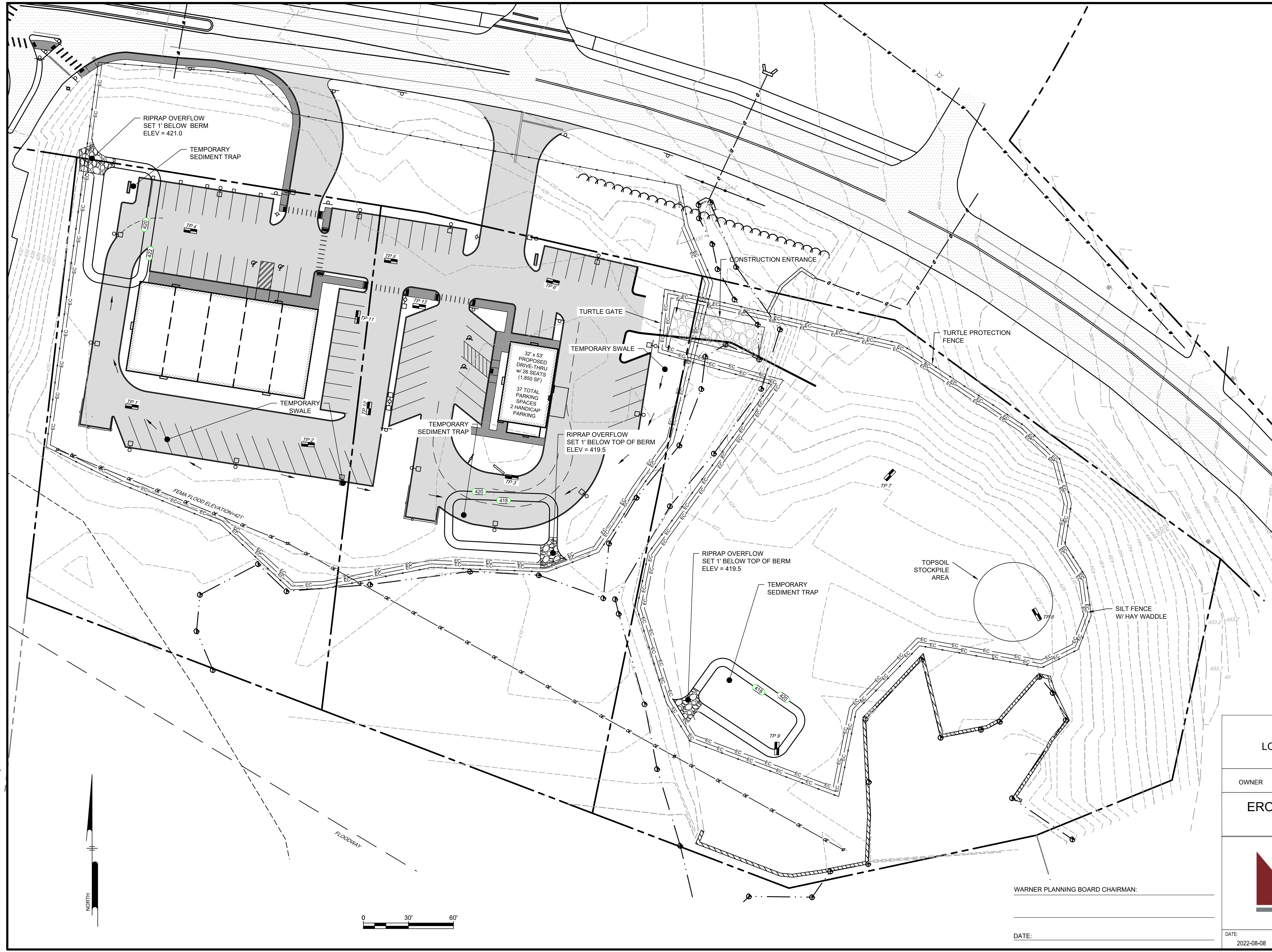
WARNER PLANNING BOARD CHAIRMAN:

DATE:



LEGEND

- CHECK DAM WITH EROSION CONTROL
- EROSION CONTROL FENCE/SILT SOCK
- SILT/SEDIMENT RAP
- CONSTRUCTION ENTRANCE



DATE	NO.	REVISIONS			BY

SITE PLAN  
LOT 3 - ROUTE 103 WEST, WARNER NH,  
ASSESSOR'S MAP 35 LOTS 4-3

OWNER  
COMET, LLC  
84 RANGE ROAD, WINDHAM, NH 03087

EROSION CONTROL PLAN - PHASE 1  
CS8001

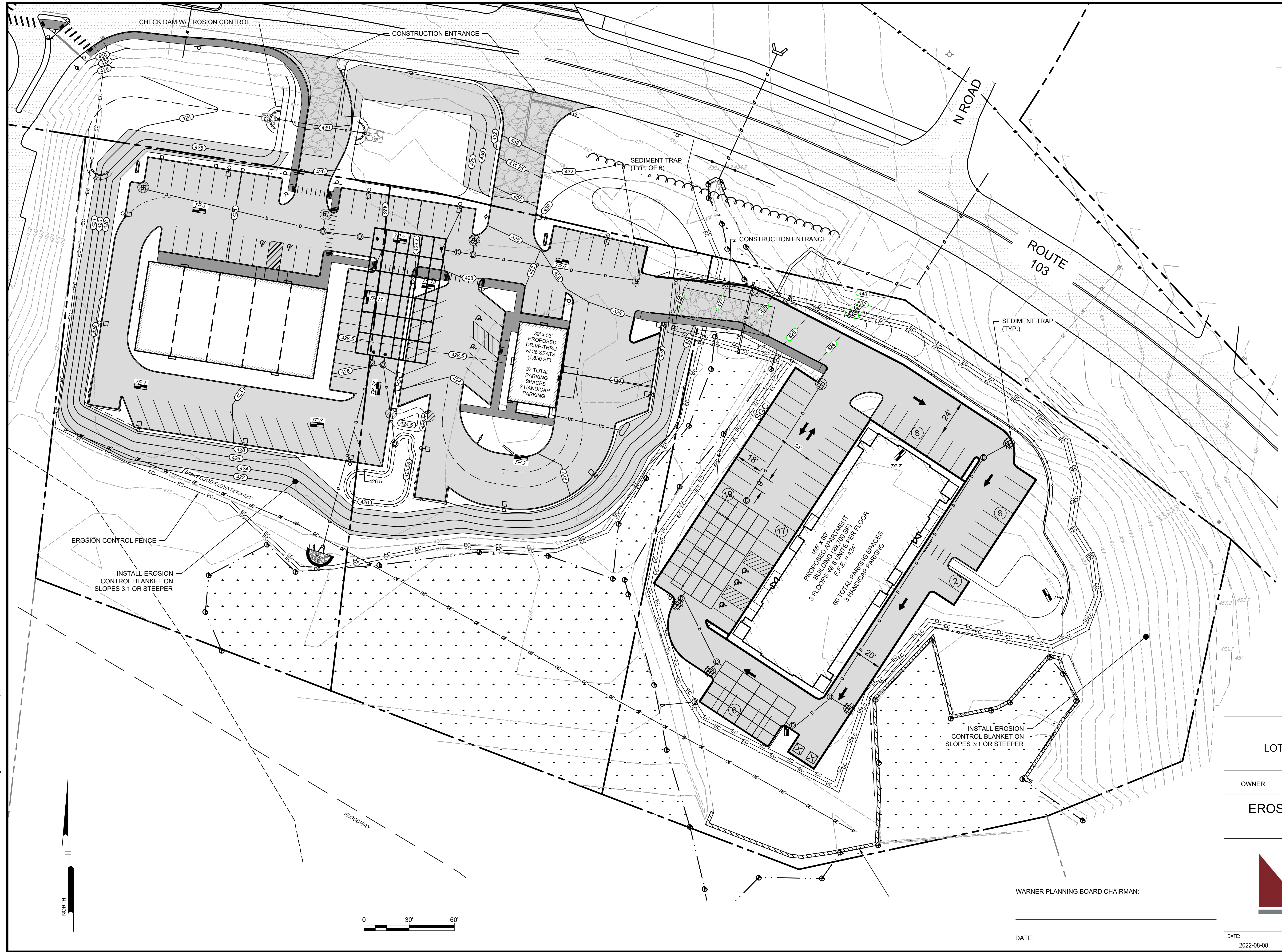
 **Ranger Engineering Group, Inc.**  
13 Red Roof Lane, Suite 203  
Salem NH, 03079  
Tel: 978-208-1762  
rangereng.com

WARNER PLANNING BOARD CHAIRMAN:

DATE:

2:\KPROJECTS\COMET - QUINN\22-271 LOT 3 WARNER NH\DESIGN\PUBLISH\PLANSET\CS8001.dwg PLOTTED: 8/8/2022 11:58 AM BY: CJP/PC PLOTSTYLE: TITERNCS.dwt PROJECT STATUS: —





LEGEND

CHECK DAM WITH EROSION CONTROL

EC EC EROSION CONTROL FENCE/SILT SOCK

SILT/SEDIMENT RAP

CONSTRUCTION ENTRANCE



DATE	NO.	REVISIONS	BY

SITE PLAN

LOT 3 - ROUTE 103 WEST, WARNER NH,

ASSESSOR'S MAP 35 LOTS 4-3

OWNER

COMET, LLC

84 RANGE ROAD, WINDHAM, NH 03087

EROSION CONTROL PLAN - PHASE 2

CS8002

Ranger Engineering Group, Inc.

13 Red Roof Lane, Suite 203

Salem NH, 03079

Tel: 978-208-1762

rangereng.com

WARNER PLANNING BOARD CHAIRMAN:

DATE:



1 SILT FENCE BARRIER  
NOT TO SCALE

**NOTES:**

1. ENTRANCE WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
2. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.

2 STABILIZED CONSTRUCTION ENTRANCE  
NOT TO SCALE

2"x2" WOODEN STAKE

IF REQUIRED INSTALL PROTECTION FENCE ON BACK SIDE OF SILT SOCK (SEE DETAIL 1 - THIS SHEET)

FILTREXX® FILTERSOXX™ OR HAY WATTLE

3"-4"

12"

SECTION

STAKE ON 10' LINEAL SPACING

FLOW

UPSLOPE

DOWNSCOPE

FILTREXX® FILTERSOXX™ OR HAY WATTLE

PLAN VIEW

NOTES:

**NOTES:**

**PLAN VIEW**

1. ALL MATERIALS TO MEET FILTREXX® SPECIFICATIONS.
2. FILTERSOXX™ COMPOST/SEED FILL TO MEET APPLICATION REQUIREMENTS.
3. COMPOST MATERIAL TO BE DISPENSED ON SITE, AS DETERMINED BY ENGINEER.

Diagram illustrating a proposed stockpile area with erosion control and drainage features:

- EROSION CONTROL INSTALLED DOWN GRADIENT:** Indicated by two curved lines labeled "EC" surrounding the stockpile area.
- PROPOSED STOCKPILE AREA:** The central area designated for stockpiling, shown with a stippled pattern.
- FLOW:** Indicated by arrows pointing towards the stockpile area from both sides.
- PROVIDE DRAIN SWALE TO DIRECT WATER AWAY FROM PROPOSED STOCKPILE AREA:** Indicated by a dashed line surrounding the stockpile area.

3 SEDIMENT SOCK / HAY WATTLE DETAIL  
NOT TO SCALE

CATCH BASIN GRATE

SILTSACK

EXPANSION RESTRAINT

FLOW

MIN

SECTION VIEW

**NOTES:**

1. INSTALL SILTSACK IN ALL CATCH BASINS WHERE INDICATED ON THE PLAN BEFORE COMMENCING WORK OR IN PAVED AREAS AFTER BINDER COURSE IS PLACED AND HAY BALES HAVE BEEN REMOVED.
2. GRATE TO BE PLACED OVER SILTSACK.
3. SILTSACK SHALL BE INSPECTED WEEKLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED. MAXIMUM VOLUME OF SILT ALLOWED BEFORE CLEANING OF THE VOLUME OF THE SILT TRAP.
4. MATERIALS REMOVED FROM THE TRAP SHALL BE PROPERLY DISPOSED OF AND STABILIZED.

6 SILTSACK SEDIMENT TRAP  
NOT TO SCALE

6 CATCH BASIN SEDIMENT TRAP  
NOT TO SCALE

Species	Per Acre bushels (BU) or pounds (lbs)	Per 1,000 ft <sup>2</sup>	Remarks
Winter Rye	2 BU. or 112 lbs.	2.5 lbs.	Best for fall seeding. Seed from August 15 to September 15 for best cover. Seed to a depth of 1 inch.
Oats	2.5 BU. or 80 lbs.	2 lbs.	Best for spring seedings. Seed no later than May 15 for summer protection. Seed to a depth of 1 inch.
Annual Ryegrass	40 lbs.	1 lb.	Grows quickly, but is of short duration. Use where appearances are important. Seed early spring and/or between August 15 and September 15. Cover the seed with no more than 0.25 inch of soil.
Perennial Ryegrass	30 lbs.	0.7 lb.	Good cover which is longer lasting than annual ryegrass. Seed between April 1 and June 1 and/or between August 15 and September 15. Mulching will allow seeding throughout the growing season. Seed to a depth of approximately 0.5 inch.

Source: Minnrick, E.L. and H.T. Marshall, (August 1992)

5 **LEVEL LIP SPREADER**  
NOT TO SCALE

The diagram shows a top-down view of a rectangular assembly. It consists of a central square grid of small squares, surrounded by four larger rectangular sections. Each of these four sections contains a small square in its center. The entire assembly is enclosed within a larger, irregularly shaped boundary. Labels with arrows point to various parts: 'STAKES (2 PER BALE)' points to the top-right section, 'FILTER FABRIC' points to the bottom-right section, and an unlabeled arrow points to the top-left section.

STAKES  
(2 PER BALE)

FILTER  
FABRIC

Plan View

## NOTES:

1. ENCLOSE STRUCTURE WITH HAYBALES IMMEDIATELY AFTER CATCH BASIN CONSTRUCTION. MAINTAIN UNTIL PAVING BINDER COURSE IS COMPLETE OR A PERMANENT STAND OF GRASS HAS BEEN ESTABLISHED.
2. IF GRATE IS AGAINST EXISTING CURB THEN HAY BALES ARE TO BE PLACED AROUND THREE SIDES OF GRATE ONLY.
3. GRATE TO BE PLACED OVER FILTER FABRIC.
4. BALES SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS. REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.

A cross-sectional diagram of a catch basin. It shows a rectangular structure with a grate on top. A 1" x 1" x 3' wood stake is shown passing through the grate and being embedded 4" (min.) into the structure. The structure is 8" (min.) high. A filter fabric is shown at the bottom of the structure, with flow arrows indicating water passing through it. The diagram is labeled "Section View".

### OPERATION AND MAINTENANCE:

## CONSTRUCTION PHASE

THE BMP's ASSOCIATED WITH THIS PROJECT WILL BE OWNED BY THE CONTRACTOR, WHO WILL BE RESPONSIBLE FOR INSPECTION, OPERATION AND MAINTENANCE. THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES

3. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL PHYSICALLY MARK THE LIMITS OF NO LAND DISTURBANCE ON THE SITE AND INSTALL PERIMETER CONTROLS.
2. THE CONTRACTOR IS TO INSTALL AND MAINTAIN DRAINAGE FACILITIES AS SHOWN ON THE SITE PLANS.
3. PRIOR TO CONSTRUCTION, ALL EROSION/SILTATION CONTROL DEVICES SHOWN ON ABOVE PLAN ARE TO BE INSTALLED. TO PREVENT SILT INTRUSION INTO THE DRAINAGE SYSTEM DURING CONSTRUCTION, THE CONTRACTOR IS TO INSTALL AND MAINTAIN INLET PROTECTION AT ALL CATCH BASINS, AND SET A SILT FENCE OR SEDIMENT SOCK AT ALL SLOPES WHICH MAY ERODE IN THE DIRECTION OF ANY OPEN DRAINAGE FACILITIES. SUCH PREVENTIVE MEASURES ARE TO BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS. TEMPORARY CONTROLS SHALL BE INSTALLED TO REDUCE DUST AND SEDIMENT TRANSPORT. EROSION CONTROL DEVICES SHALL NOT CONTAIN WELDED PLASTICS, PLASTIC, OR MULTI/MONO-FILAMENT POLYPROPYLENE NETTING OR MESH.
4. CONSTRUCTION OF DRAINAGE FACILITIES IS TO BE INSPECTED BY DESIGN ENGINEER TO VERIFY CONFORMANCE TO THE DESIGN PLAN.
5. THE SEQUENCE OF DRAINAGE CONSTRUCTION SHALL BE AS FOLLOWS:
  - A. CLEAR, GRUB, EXCAVATE AREAS FOR DRAINAGE SYSTEMS.
  - B. TRENCH AND INSTALL PIPES, CATCH BASINS MANHOLES
  - C. INSTALL INLET PROTECTION.
6. EROSION CONTROLS ARE TO BE INSPECTED AND MAINTAINED ON A WEEKLY BASIS OR AFTER EVERY HALF INCH OF RAIN FALL. UPON DISCOVERY OF SILT BUILD-UP IN ANY CATCH BASIN SUMPS, OR ANY OTHER STRUCTURES, THEY ARE TO BE CLEANED.
7. ALL EXPOSED SOILS SHALL BE IMMEDIATELY STABILIZED WITH A LAYER OF MULCH HAY OR JUTE BLANKETS-AS NEEDED FOR SLOPES STEEPER THAN 3:1.
8. TEMPORARY WATER DIVERSION MUST BE USED AS NECESSARY UNTIL AREAS AREA STABILIZED.
  - 8.1. DITCHES AND SWALES SHALL BE STABILIZED BEFORE DIRECTING WATER TO THEM .
  - 8.2. ROADWAYS AND PARKING LOTS SHALL BE STABILIZED BEFORE DIRECTING WATER TO THEM
  - 8.3. CUT AND FILL SLOPES SHALL BE SEEDED/LOAMED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE
9. MULCH BERMS SHALL BE USED ONLY WHERE SHEET FLOW OCCURS AND WHERE THE UPSTREAM SLOPE IS LESS THAN 5%. BERM MUST BE AT LEAST 12" HIGH AND 2 FEET WIDE.
10. PRIOR TO CONSTRUCTION OF IMPERVIOUS AREAS, ALL DRAINAGE STRUCTURES AND PIPES SHALL BE INSTALLED AND INSPECTED FOR PROPER FUNCTION. DURING CONSTRUCTION OF OTHER SITE FEATURES, ALL DRAINAGE FACILITIES SHALL BE INSPECTED ON A WEEKLY BASIS AND CLEANED/REPAIRED IMMEDIATELY UPON DISCOVERY OF SEDIMENT BUILD-UP OR DAMAGE.
11. AFTER PAVING IS INSTALLED, IT SHALL BE SWEEP CLEAN ON A REGULAR BASIS.
12. IF DEWATERING IS NECESSARY DURING CONSTRUCTION, THE WATER WILL BE TREATED FOR TOTAL SUSPENDED SOLIDS (TSS) REMOVAL PRIOR TO DISCHARGE TO RECEIVING WATER.

## POST-DEVELOPMENT PHASE

THE OWNER(S) IS TO BE RESPONSIBLE FOR MAINTENANCE OF ALL DRAINAGE STRUCTURES IN THE PROJECT - INCLUDING ROOF DRAINS, DRAIN PIPES, CATCH BASINS, AND DRAIN MANHOLES.

REGULAR MAINTENANCE IS TO INCLUDE THE FOLLOWING:

1. INSPECTION OF ALL DRAINAGE FACILITIES (CATCH BASINS, PIPES, OUTLET CONTROL STRUCTURES, AND DETENTION BASINS) EVERY THREE MONTHS. DURING THESE INSPECTIONS, THE INSPECTOR (A REGISTERED PROFESSIONAL CIVIL ENGINEER QUALIFIED IN DRAINAGE SYSTEMS) SHALL LOOK FOR EVIDENCE OF THE FOLLOWING: STRUCTURAL DAMAGE, SILT ACCUMULATION (NEAR INLET INVERTS ON CATCH BASINS AND OUTLET CONTROL STRUCTURES), AND IMPROPER FUNCTION. A REPORT ON THE SYSTEM SHALL BE DELIVERED TO THE OWNER.
2. AFTER INSPECTION, IF ANY OF THE ABOVE CONDITIONS EXIST, THE INSPECTOR SHALL NOTIFY THE OWNER. WHO SHALL IMMEDIATELY ARRANGE FOR ALL NECESSARY REPAIRS AND/OR SEDIMENT REMOVAL.
3. THE PAVEMENT AREA IS TO BE SWEPT CLEAN, AS REQUIRED (I.E., VISUALLY NOTICEABLE DEBRIS BUILD-UP). A MINIMUM OF ONCE PER YEAR.
4. ALL GRADED SLOPES SHALL BE INSPECTED EVERY SPRING FOR EROSION. UPON DISCOVERY OF ANY FAILURE (IE. EROSION), LOAM AND SEED SHALL BE PUT IN PLACE AND NURTURED.
5. DURING THE WINTER MONTHS, ALL SNOW IS TO BE STORED SUCH THAT SNOW MELT IS CONTROLLED WITHIN THE PAVED AREA.

WINTER CONSTRUCTION SEQUENCE NOTES:

1. ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1 AND SEEDING AND PLACING 3-4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORING NETTING, ELSEWHERE, THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
2. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH OR WHICH ARE DISTURBED AFTER OCTOBER 15TH SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE FLOW.
3. AFTER OCTOBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON SHALL BE PROTECTED WITH A MINIMUM OF 3" OF CRUSHED GRAVEL PER NHDOT ITEM 304.3



WARNER PLANNING BOARD CHAIRMAN:

DATE:

### EROSION CONTROL NOTES (DURING CONSTRUCTION)

1. THE CONTRACTOR MUST INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND IN THE DETAILS PRIOR TO STARTING ANY OTHER WORK ON THE SITE. EROSION CONTROL MUST BE INSTALLED AT EVERY INLET STRUCTURE (EXISTING AND PROPOSED) AND MAINTAINED FOR THE DURATION OF THE PROJECT.
2. EROSION CONTROLS AS SHOWN ON PLANS SHALL BE INSPECTED, REPAIRED AND/OR MAINTAINED BY THE CONTRACTOR DAILY AND WITHIN 12 HOURS OF EACH STORM EVENT.
3. SEDIMENT DEPOSITS SHALL BE REMOVED WHEN THEY REACH A DEPTH OF 1/4 TO 1/2 THE HEIGHT OF THE SILT FENCE OR SEDIMENT SOCK.
4. SEDIMENT SHALL BE CONTAINED WITHIN THE CONSTRUCTION SITE, AWAY FROM DRAINAGE STRUCTURES. SEDIMENT REACHING THE PUBLIC WAY SHALL BE REMOVED BY STREET SWEEPING AND NOT BY FLUSHING.
5. STABILIZE SLOPES STEEPER THAN 3:1 (HORIZONTAL TO VERTICAL) WITH SEED, SECURED GEOTEXTILE FABRIC, OR ROCK RIP-RAP AS REQUIRED TO PREVENT EROSION DURING CONSTRUCTION.
6. TEMPORARY SEEDING WILL BE APPLIED AS NECESSARY ON ANY ROUGH GRADED SURFACE WHICH WILL REMAIN UNDISTURBED FOR A PERIOD GREATER THAN 30 DAYS AND UPON LONG STANDING SOIL STOCKPILES. WASHED OUT OR ERODED AREAS SHALL BE RE-STABILIZED WITH ADDITIONAL COMPACTED LOAM AND SEED AND PROTECTED AS REQUIRED. TEMPORARY SEED SPECIES SHALL BE PER TABLE 4-1.
7. STABILIZE PAVEMENT AREAS WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE
8. CLEAN OUT CATCH BASINS, DRAIN MANHOLES AND STORM DRAIN PIPES AFTER COMPLETION OF CONSTRUCTION.
9. LOAM AND SEED ALL DISTURBED AREAS. PERMANENT SEEDLING SHALL OCCUR IN THE SPRING FROM LATE MARCH THROUGH MAY AND IN LATE SUMMER OR EARLY FALL BETWEEN AUGUST AND OCTOBER
10. DUST SHALL BE CONTROLLED AT THE SITE WITH MECHANICAL WATER SPRAYING AS NECESSARY AND DURING EXTENDED DRY PERIODS.
11. UPON ESTABLISHMENT OF PERMANENT VEGETATION OVER DISTURBED AREAS, REMOVE AND DISPOSE OF STRAW WATTLES AND STAKES.
12. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN AND SUPPLEMENT THE SPECIFIED SEDIMENTATION CONTROLS AS NECESSARY TO PREVENT SEDIMENTATION OF OFF-SITE AREAS AND/OR ANY REGULATED RESOURCE AREAS. FAILURE BY THE CONTRACTOR TO CONTROL EROSION, POLLUTION AND/OR SILTATION SHALL BE CAUSE FOR THE OWNER TO EMPLOY OUTSIDE ASSISTANCE OR TO USE HIS OWN MEANS TO PROVIDE THE NECESSARY CORRECTIVE MEASURE. THE COST OF SUCH ASSISTANCE PLUS PROJECT ENGINEERING COSTS WILL BE THE CONTRACTOR'S RESPONSIBILITY.
13. THE CONTRACTOR SHALL CHECK THE CONDITION OF EROSION CONTROLS WEEKLY TO KEEP THEM IN GOOD OPERATING CONDITION. EROSION CONTROLS SHALL ALSO BE INSPECTED, REPAIRED AND MAINTAINED BY THE CONTRACTOR WITHIN 12 HOURS OF ANY STORM EVENT PRODUCING 1/2 INCH OF RAINFALL OR MORE. EROSION CONTROLS SHALL BE REPLACED WHEN DETERIORATED, OR WHEN ORDERED BY THE ENGINEER. SEDIMENT DEPOSITS SHALL BE REMOVED WHEN THEY REACH A DEPTH OF 6 INCHES.
14. IN ADDITION TO THOSE LOCATIONS SHOWN ON THIS PLAN AND ON THE GRADING AND DRAINAGE PLANS, EROSION CONTROLS SHALL BE INSTALLED AT THE FOLLOWING LOCATIONS: TOE OF SLOPE OF EMBANKMENT CONSTRUCTION, TOE OF TEMPORARY EARTHWORK STOCKPILES. STOCKPILE SIDE SLOPES SHALL NOT EXCEED 2:1.
15. EROSION AND SEDIMENTATION CONTROL SHALL BE IN COMPLIANCE WITH MASSACHUSETTS STORMWATER POLICY.
16. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
  - A. BASE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
  - B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED.
  - C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL, SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED.
  - D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
  - E. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE
17. THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION BUT IN NO CASE EXCEED 2.75 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED
18. ANY SEDIMENTS REMOVED FROM EROSION CONTROL DEVICES, CATCH BASINS, AND STORMWATER STRUCTURES SHALL BE DISPOSED OF IN ACCORDANCE WITH STATE REGULATIONS AND BEST MANAGEMENT PRACTICES.

DATE	NO.	REVISIONS	BY

# SITE PLAN

LOT 3 - ROUTE 103 WEST, WARNER NH,

ASSESSOR'S MAP 35 LOTS 4-3

OWNER           COMET, LLC  
84 RANGE ROAD, WINDHAM, NH 03087

EROSION CONTROL NOTES AND DETAILS  
CS8501



Ranger Engineering Group, Inc.

13 Red Roof Lane, Suite 203

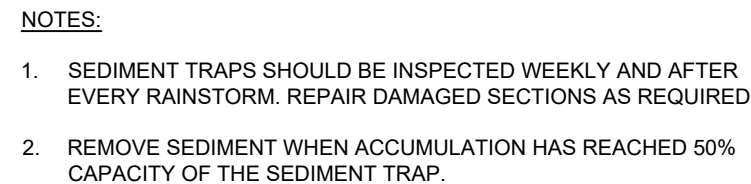
Tel: 978-208-1762  
rangereng.com

DATE: 2022-08-08

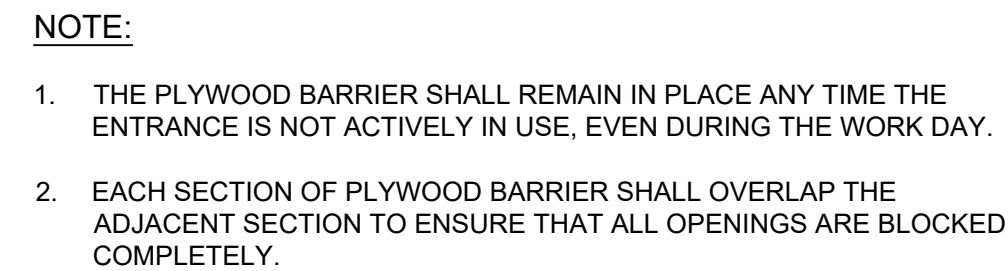
SCALE:

SHEET 18 OF 20





2 TURTLE PROTECTION FENCE  
NOT TO SCALE



3 TURTLE PROTECTION GATE  
NOT TO SCALE



1. BEGIN AT THE TOP OF BLANKET INSTALLATION AREA BY ANCHORING BLANKET IN A 6" DEEP TRENCH BACKFILL AND COMPACT TRENCH AFTER STAPLING.
2. ROLL THE BLANKET DOWN THE SWALE IN THE DIRECTION OF THE WATER FLOW. THE EDGES OF BLANKETS MUST BE STAPLED WITH APPROX. 4 INCH OVERLAP WHERE 2 OR MORE STRIP WIDTHS ARE REQUIRED.
3. WHEN BLANKETS MUST BE SPLICED DOWN THE SWALE, PLACE UPPER BLANKET END OVER LOWER END WITH 6 INCH (MIN.) OVERLAP AND STAPLE BOTH TOGETHER.
4. EROSION CONTROL BLANKET SHALL NOT CONTAIN PLASTIC MESH. NATURAL FIBER BIODEGRADABLE MESH SHALL BE USED
5. HYDRO SEEDING MULCH SHALL BE USED ON ALL DISTURBED AREAS UPON COMPLETION OF ROUGH OR FINAL GRADING ACTIVITIES. GRADING WILL BE CONSIDERED COMPLETE WHEN THE AREA WILL REMAIN UNDISTURBED FOR 30 OR MORE DAYS.
6. EROSION CONTROL BLANKET WILL BE USED TO COVER PROBLEM AREAS WHERE STABILIZATION IS NOT ACHIEVED WITH HYDRO SEED MULCH AND IN THE BOTTOM OF STORMWATER CHANNELS. THE BOTTOM AND SIDE SLOPES WILL BE MULCHED BEFORE THE BLANKET IS APPLIED

**NOTES:**

1. **BERMS MUST BE USED ONLY WHERE SHEET FLOW OCCURS AND WHERE THE UPSTREAM SLOPE IS LESS THAN 5%.**
2. **EROSION CONTROL MIX SHALL HAVE AN ORGANIC PORTION BETWEEN 25% AND 65% DRY WEIGHT BASIS THAT IS "A" FIBROUS AND ELONGATED SUCH AS FROM SHREDDED BARK, STUMP GRINDINGS, COMPOSTED BARK, OR EQUIVALENT PRODUCT AND B. NOT COMPRISED OF WOOD CHIPS, BARK CHIPS, GROUND CONSTRUCTION DEBRIS, OR REPROCESSED WOOD PRODUCTS. IT SHALL NOT CONTAIN SILTS, CLAYS, OR FINE SANDS.**
3. **MIX SHALL HAVE A PARTICLE SIZE OF 100% PASSING A 3" SCREEN, 90% TO 100% PASSING A 1" SCREEN, 70%-100% PASSING A 0.75" SCREEN, AND 30% PASSING A 0.25" SCREEN.**
4. **MIX MUST HAVE A pH BETWEEN 5.0 AND 8.0**

MULCH BERMS SHALL BE USED ONLY WHERE SHEET FLOW OCCURS AND WHERE THE UPSTREAM SLOPE IS LESS THAN 5%. BERM MUST BE AT LEAST 12" HIGH AND 2 FEET WIDE.

The image contains two technical drawings of a trapezoidal structure, likely a cross-section of a ditch or embankment.

**END VIEW:** This drawing shows the top and side profiles of the structure. The top width is dimensioned as 10'. The height is dimensioned as 2'. The bottom width is dimensioned as 2'. The structure is filled with a material labeled "1" TO 2" WASHED GRAVEL". The bottom of the structure is labeled "BOTTOM OF FOREBAY". The vertical height is also labeled "VARIES".

**SECTION VIEW:** This drawing shows a cross-section of the structure. The top width is dimensioned as 2'. The height is dimensioned as 2'. The structure is filled with a material labeled "1" TO 2" WASHED GRAVEL". The bottom of the structure is labeled "BOTTOM OF FOREBAY". The vertical height is also labeled "VARIES".

DATE	NO.	REVISIONS	BY

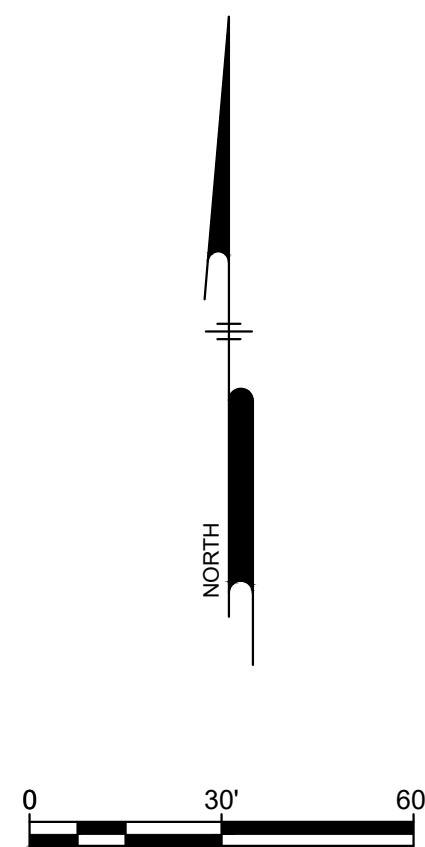
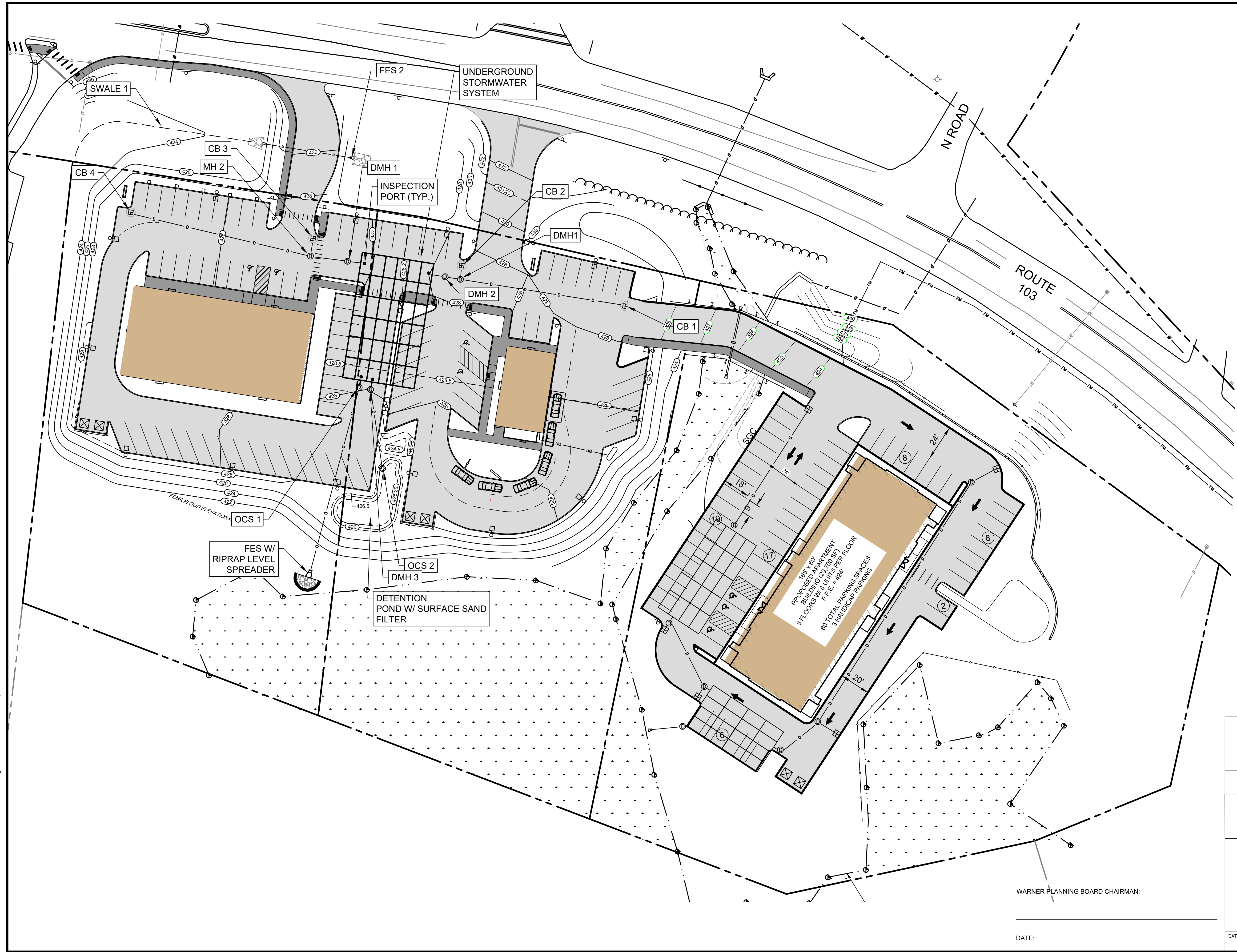
DATE: 2022-08-08	SCALE:	SHEET 19 OF 20
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DATE:



2:\K\PROJECTS\COMET - QUINN\22-271 LOT 3 WARNER NH\DESIGN\PLANS\SET\CS9001.dwg PLOTTED: 8/8/2022 11:58 AM BY: CJP/PC PROJECT STATUS: --- PLOT STYLE: T11EN NCS.dwg



- NOTES:
1. INSPECTION AND MAINTENANCE RECORDS MUST BE SUBMITTED TO DES UPON REQUEST



DATE	NO.	REVISIONS						BY	

**SITE PLAN**  
LOT 3 - ROUTE 103 WEST, WARNER NH,  
ASSESSOR'S MAP 35 LOTS 4-3

OWNER COMET, LLC  
84 RANGE ROAD, WINDHAM, NH 03087

**INSPECTION AND MAINTENANCE PLAN**  
CS9001

 **Ranger Engineering Group, Inc.**  
13 Red Roof Lane, Suite 203  
Salem NH, 03079  
Tel: 978-208-1762  
rangereng.com

WARNER PLANNING BOARD CHAIRMAN:

DATE: